

SEDAMSVILLE 2 RESIDENTIAL RENOVATIONS

ARCHITECT

PLATTE ARCHITECTURE + DESIGN
1810 CAMPBELL ALLEY, SUITE 300
CINCINNATI, OH 45202
(513) 871-1850

654 STEINER AVENUE
CINCINNATI, OH 45204

SHEET LIST

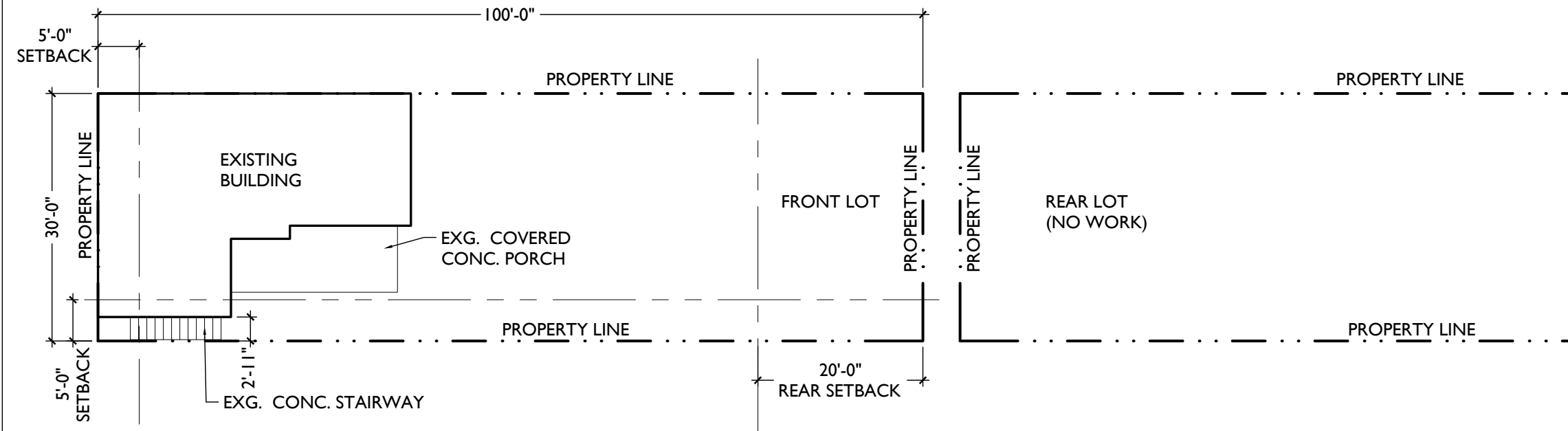
ARCHITECTURAL

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SYMBOLS

	FE = WALL MOUNTED FIRE EXTINGUISHER
	SMOKE DETECTOR
	PARTITION TYPE; SEE A6.00 SERIES
	KEYNOTE
	ACCESS TO MEANS OF EGRESS
	EXISTING WALL
	NEW PARTITION WALL
	NEW DROPPED CEILING/SOFFT; SEE RCP FOR ELEVATION/INFO.
	SAFETY GLAZING
	NEW STRUCTURAL MEMBERS - SEE STRUCTURAL DWGS. (NOTE: FR INDICATES FIRE-RATED MEMBER. SEE BEAM/COLUMN RATINGS ON SHEET)
	REVISION CLOUD WITH REVISION TAG.
	CENTER LINE TAG
	ELEVATION (FLOOR ELEVATION OR CEILING HEIGHT, AS INDICATED)
	ELEVATION TAG
	INTERIOR ELEVATION TAG
	SECTION CUT TAG
	DETAIL CALLOUT



SCALE: 1/16" = 1'-0"

SITE MAP

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ABBREVIATIONS

ADJ	ADJACENT	DIAG	DIAGONAL	FDN	FOUNDATION	MEP	MECHANICAL, ELECTRIC & PLUMBING	REV	REVISED/REVISION
A.F.F.	ABOVE FINISH FLOOR	DIA or Ø	DIAMETER	F.E.	FIRE EXTINGUISHER	F.E.	FIRE EXTINGUISHER	R.O.	ROUGH OPENING
ALT	ALTERNATE	DIM(S)	DIMENSION(S)	F.F.E.	FINISH FLOOR ELEVATION	MIN	MINIMUM	R.O.W.	RIGHT OF WAY
ALUM	ALUMINUM	D.O.T.E.	DEPARTMENT OF	FLR	FLOOR	MAX	MAXIMUM	SECT	SECTION
APPROX	APPROXIMATELY		TRANSPORTATION &	FTG	FOOTING	MANUF	MANUFACTURER	SIM	SIMILAR
APT	APARTMENT		ENGINEERING	G.C.	GENERAL CONTRACTOR	N/A	NOT APPLICABLE	SF	SQUARE FEET
BD	BOARD		DEAD LOAD	GYP	GYPSPUM	N.I.C.	NOT IN CONTRACT	SPEC	SPECIFICATION
BLDG	BUILDING		DOWNSPOUT	H.M.	HOLLOW METAL	N.I.S.	NOT IN SCOPE	STRUCT	STRUCTURAL
C.L.	CENTER LINE	DTL(S)	DETAIL(S)	HR	HOUR	N.T.S.	NOT TO SCALE	T.O. or T/	TOP OF
C.J.	CONTROL JOINT	DWG(S)	DRAWING(S)	HORIZ	HORIZONTAL	OBC	OHIO BUILDING CODE	T&G	TONGUE & GROOVE
CLG	CEILING	EA	EACH	HVAC	HEATING, VENTILATION, & AIR CONDITIONING	O.C.	ON CENTER	TYP	TYPICAL
CLR	CLEAR DIMENSION	ELEC	ELECTRICAL			OPNG	OPENING	U.N.O.	UNLESS NOTED OTHERWISE
C.M.U.	CONCRETE MASONRY UNIT	ELEV(S)	ELEVATION(S)	INCL	INCLUDED/ INCLUDING	OPP	OPPOSITE	V.B.	VERTICAL
		EJ	EXPANSION JOINT	INFO	INFORMATION	OVER	OVER	V.I.F. or ±	VERIFY IN FIELD
		EQ	EQUAL	INSUL	INSULATED/ INSULATING	PLWD	PLYWOOD	W/	WITH
COL	COLUMN	EXG	EXISTING	INT	INTERIOR	PLUMB	PLUMBING	W/O	WITHOUT
CONC	CONCRETE	EXT	EXTERIOR	LL	LIVE LOAD	PT.	PRESSURE TREATED	WD	WOOD
CONT	CONTINUOUS/ CONTINUED	FDC	FIRE DEPARTMENT CONNECTION	MATL	MATERIAL	RCP	REFLECTED CEILING PLAN		
CONTR	CONTRACTOR			MECH	MECHANICAL	REQ	REQUIRED		

PROPOSED RENOVATION: 654 STEINER AVENUE

CITY: CINCINNATI, OHIO
COUNTY: HAMILTON

ZONING JURISDICTION: CITY OF CINCINNATI
BLDG. DEPT. JURISDICTION: CITY OF CINCINNATI

PROJECT DESCRIPTION: RENOVATION OF SINGLE-FAMILY RESIDENCE.

CINCINNATI OHIO ZONING CODE
ZONING DISTRICT: SF-2

PRIMARY STRUCTURE
BUILDING SETBACKS (RMX)

FRONT YARD SETBACK 5'
SIDEYARD SETBACK (MIN/ TOTAL) 0/5'
REAR YARD SETBACK 20'
HEIGHT 35'

THE EXISTING BUILDING EXCEEDS THE SETBACK REGULATIONS. NO CHANGE TO THE EXISTING.

CHAPTER 1409-25 LOCATION OF PARKING
PARKING WILL BE EXISTING STREET PARKING

CHAPTER 1421-07 BUILDING PROJECTIONS
UNCOVERED STAIRWAYS AND NECESSARY LANDINGS NOT EXTENDING ABV. BUILDING ENTRANCE FLR. MAY PROJECT 4.5' INTO SIDE YARD SET BACK

GOVERNING CODE:
2019 RESIDENTIAL CODE OF OHIO (R.C.O.)

CODE NOTES:

SECTION 303: LIGHT, VENTILATION, AND HEATING

NATURAL LIGHT AND VENTILATION PROVIDED THROUGH OPERABLE DOORS AND WINDOWS.

303.3: BATHROOMS

ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION SYSTEM WILL BE PROVIDED IN ALL NEW BATHROOMS AND SHALL BE IN FULL COMPLIANCE WITH RCO 303.3. ALL OTHER BATHROOMS ARE EXISTING TO REMAIN.

SECTION 304: MINIMUM ROOM AREAS

HABITABLE ROOMS ARE NOT LESS THAN 70 SQUARE FEET OR LESS THAN 7 FEET IN ANY HORIZONTAL DIRECTION.

SECTION 308: GLAZING

308.1: IDENTIFICATION
CONTRACTOR IS TO PROVIDE SAFETY GLAZING AT ALL LOCATIONS REQUIRED PER R.C.O.
308.4: SEE NOTES IN SECTION DRAWINGS AND INTERIOR ELEVATIONS, AS WELL AS SG TAG IN PLANS.

SECTION 310: EMERGENCY ESCAPE AND RESCUE OPENINGS

MINIMUM NET CLEARANCE OF 5.7 SQUARE FEET. MINIMUM NET CLEARANCE OPENING HEIGHT SHOULD BE 24 INCHES. MINIMUM NET CLEARANCE WIDTH SHOULD BE 20 INCHES. THE MAXIMUM BOTTOM HEIGHT OF THE FLOOR OPENING SHOULD BE 44 INCHES.

311.7.7: STAIR TREADS AND RISERS

RISER HEIGHTS SHALL NOT BE MORE THAN 8 1/4" AND TREAD DEPTH SHALL NOT BE LESS THAN 9"

SECTION 314: SMOKE ALARMS

314.1: SMOKE DETECTION AND NOTIFICATION
CONTRACTOR IS TO PROVIDE THE FOLLOWING SMOKE ALARMS:
1. IN EACH SLEEPING ROOM, PROVIDE IONIZATION-TYPE SMOKE ALARM
2. OUTSIDE, IMMEDIATELY ADJACENT TO EACH SLEEPING ROOM, PROVIDE COMBINATION PHOTOELECTRIC SMOKE ALARM / CARBON MONOXIDE DETECTOR.
3. BOTH PHOTOELECTRIC & IONIZATION IN EACH ADDITIONAL STORY NOT CONTAINING SLEEPING ROOMS, INCLUDING BASEMENTS AND HABITABLE ATTICS

314.4: POWER SOURCE

ALL SMOKE ALARMS ARE TO BE HARD-WIRED WITH A BATTERY BACK-UP & ARE TO BE INTERCONNECTED

SECTION 806: ROOF VENTILATION

ROOF VENTILATION PROVIDED PER THE REQUIREMENTS OF THIS SECTION.

CHAPTER 11 - ENERGY EFFICIENCY

1101.2: COMPLIANCE PATHS

THE NEW CONDITIONED SPACES WILL FOLLOW THE RESIDENTIAL BUILDING CODE ENERGY COMPLIANCE AND THE BUILDING THERMAL ENVELOPE WILL MEET THE INSULATION AND FENESTRATION REQUIREMENTS AS INDICATED IN TABLE 1102.1.2 OR THE EQUIVALENT U FACTORS IN TABLE 1102.1.4

SECTIONS 1101-1104

TABLE 1102.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT
CLIMATE ZONE 4

AREA ON BUILDING	PRESCRIPTIVE VALUE
FENESTRATION U-FACTOR	0.32 max.
SKYLIGHT U-FACTOR	0.55 max.
GLAZED FENESTRATION SHGC	.40
CEILING R-VALUE	49, 30 AT CATHEDRAL min.
WOOD FRAME WALL R-VALUE	20 min.

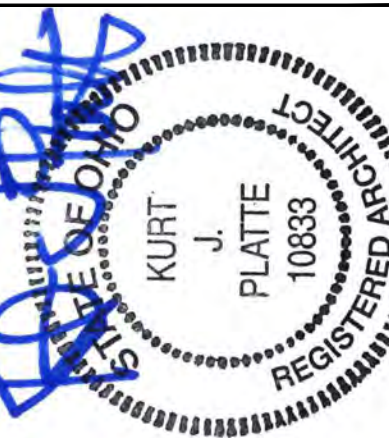
MASS WALL R-VALUE	5 / 10 min. IF >50% INS. ON INTR.
FLOOR R-VALUE	19 min.
BASEMENT WALL R-VALUE	10 CONTIN. / 13 CAVITY min.
SLAB R-VALUE AND DEPTH	10, 2 FT min.
CRAWL SPACE WALL R-VALUE	10 CONTIN. / 13 CAVITY min.

CODE NOTES

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KURT J. PLATTE 10833
Exp. Date: 12.31.2025

Design Team: BR, RO, CH

Progress Dates
2025.10.08 - PERMIT

Revisions

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THE PORT
SEDAMSVILLE 2
654 STEINER AVE
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Job No: 25031 10.08.2025

COVER SHEET

A0.00

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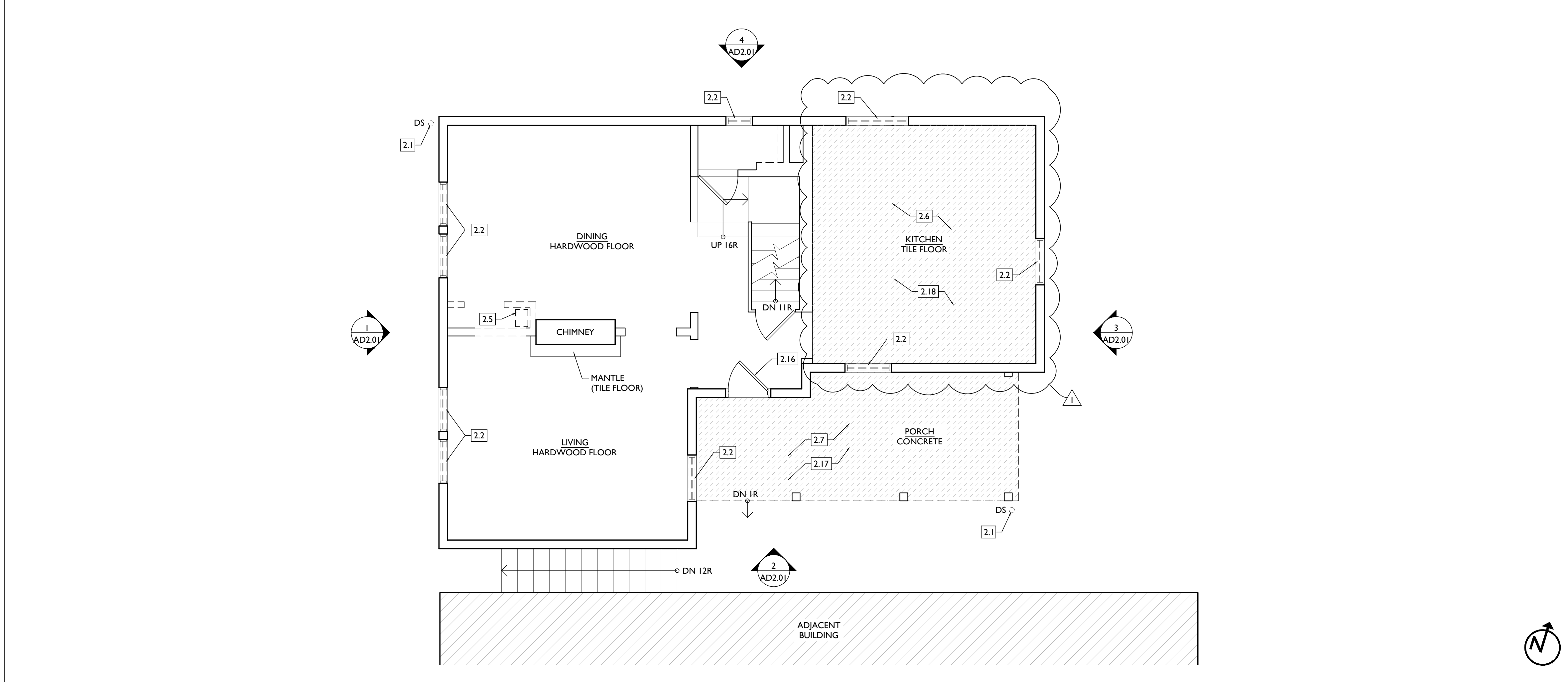
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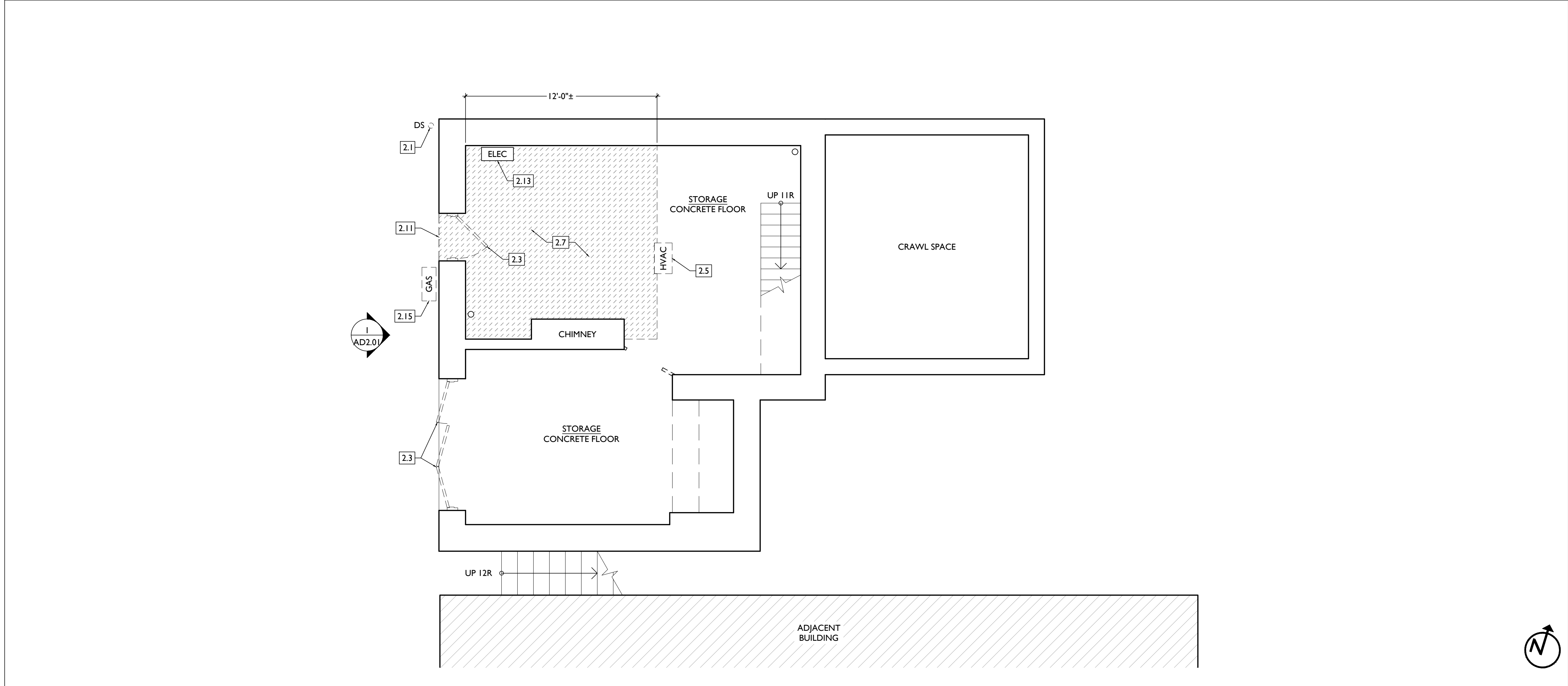
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OVERALL SITE PLAN

A0.02



SCALE: 1/4" = 1'-0" EXISTING + DEMOLITION PLAN- FIRST FLOOR PLAN 2



SCALE: 1/4" = 1'-0" EXISTING + DEMOLITION PLAN - BASEMENT 1

EXISTING/DEMO GRAPHIC KEY

#

KEYNOTE

EXISTING WALL TO REMAIN

EXISTING WALL/ELEMENT TO BE REMOVED

X'-X"

EXISTING SPOT ELEVATION

EXISTING DOOR TO REMAIN

EXISTING DOOR TO BE REMOVED

REMOVE PORTION OF EXISTING FLOORING

EXISTING/DEMO GENERAL NOTES

A. DURING CONSTRUCTION, TAKE CARE TO PROTECT ELEMENTS THAT ARE TO REMAIN/BE REINSTALLED.

B. UNLESS NOTED OTHERWISE, REMOVE ALL FLOOR FINISH MATERIALS AND PREPARE SUB-FLOOR FOR NEW FINISH. COORDINATE REMOVAL WITH FINAL SELECTIONS.

C. FLOOR ASSUMED TO BE GENERALLY LEVEL AND FLAT. AT COMPLETION OF DEMOLITION, COORD WITH ARCHITECT AND GC TO DETERMINE IF ANY LEVELING/ PATCHING OF SLAB WILL BE REQUIRED FOR FINISH INSTALLATION.

D. ALL EXISTING DRYWALL AND PLASTER TO BE REMOVED U.N.O. TAKE CARE TO LEAVE STUDS, AND MASONRY BEYOND UNLESS INDICATED AS DEMOLISHED IN THE PLANS/ELEVATIONS.

E. WHERE NEW WALL FINISHES ARE PROPOSED ON EXISTING WALLS, REMOVE EXISTING FINISH AND REPAIR AND PREP DRYWALL BELOW FOR NEW FINISH. SEE NEW WORK PLANS AND FINISH SCHEDULE.

F. REMOVE ALL (NON CODE COMPLIANT) ELECTRICAL WIRING AND ALL EXISTING ELECTRICAL FIXTURES, INTERIOR AND EXTERIOR.

G. REMOVE ALL OLD PLUMBING WATER AND PVC PIPING. REPLACE WATER HEATER.

H. MEP WORK TO BE DESIGN-BUILD BY GC - COORDINATE DEMOLITION WITH GENERAL CONTRACTOR TO ENSURE THAT ALL ITEMS THAT ARE TO REMAIN ARE PROTECTED DURING DEMOLITION. WHERE MECHANICAL GRILLS, DUCTS, ETC, ARE SHOWN TO BE REMOVED OR ARE IN AREAS OF WORK, TAKE CARE TO CAREFULLY REMOVE AND SALVAGE FOR POTENTIAL REUSE. SEE NEW WORK PLANS AND RCPS.

I. AT COMPLETION OF DEMOLITION, ALL FLOORS TO BE SWEEP CLEAN.

J. UNLESS NOTED OTHERWISE, ALL FIREPLACE SURROUNDS AND MANTELS TO REMAIN.

K. UNLESS NOTED OTHERWISE, ALL EXG. BASE, WINDOW, AND DOOR TRIM TO REMAIN.

L. IF REMOVING PLASTER OR DRYWALL ON EXTERIOR WALLS, SCORE AND CUT JUST ABOVE EXG. BASE TRIM SO IT CAN REMAIN IN PLACE.

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ALL KEYED NOTES LISTED MAY NOT APPLY TO THIS SHEET.

1. GENERAL

1.1. NOT USED

1.2.

2. EXG. CONDITIONS

2.1. REMOVE EXISTING DOWNSPOUT. REPAIR EXISTING BOX GUTTER.

2.2. REMOVE EXISTING WINDOW.

2.3. REMOVE EXISTING DOOR.

2.4. REMOVE BATHROOM FIXTURES. CAP PLUMBING, SEE NEW WORK PLANS.

2.5. REMOVE FURNACE AND ACCOMPANYING DUCTWORK.

2.6. REMOVE ADHERED/APPLIED FLOORING BACK TO SUBFLOOR/HARDWOOD.

2.7. REMOVE CONCRETE SLAB IN THIS AREA.

2.8. REMOVE EXG. ROOFING MATERIAL.

2.9. REMOVE SOFFIT/DROPPED CLG ABOVE.

2.10. REMOVE CHIMNEY BELOW ROOF LINE.

2.11. REMOVE CONCRETE RAMP.

2.12. EXISTING RETAINING WALL TO REMAIN.

2.13. EXISTING ELECTRICAL PANEL TO REMAIN.

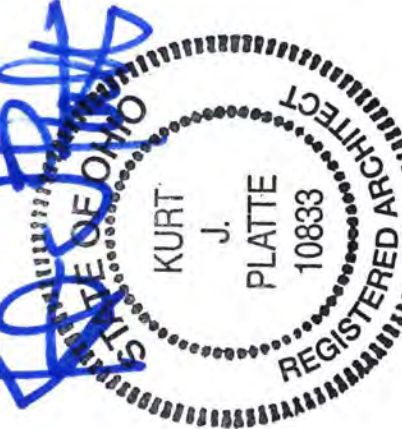
2.14. EXISTING LOAD BEARING WALL / HEADER TO REMAIN.

2.15. REMOVE EXISTING GAS METER.

2.16. EXISTING EXTERIOR DOOR AND TRANSOM TO REMAIN.

2.17. PROVIDE TEMPORARY SHORING FOR PORCH ROOF DURING DEMO.

2.18. REMOVE EXG. SUBFLOOR, FLOOR JOISTS, AND ANY DEBRIS THIS AREA.



KURT J. PLATTE 10833
Exp. Date: 12.31.2025

Design Team: BR, RO, CH

Progress Dates
2025.10.08 - PERMIT

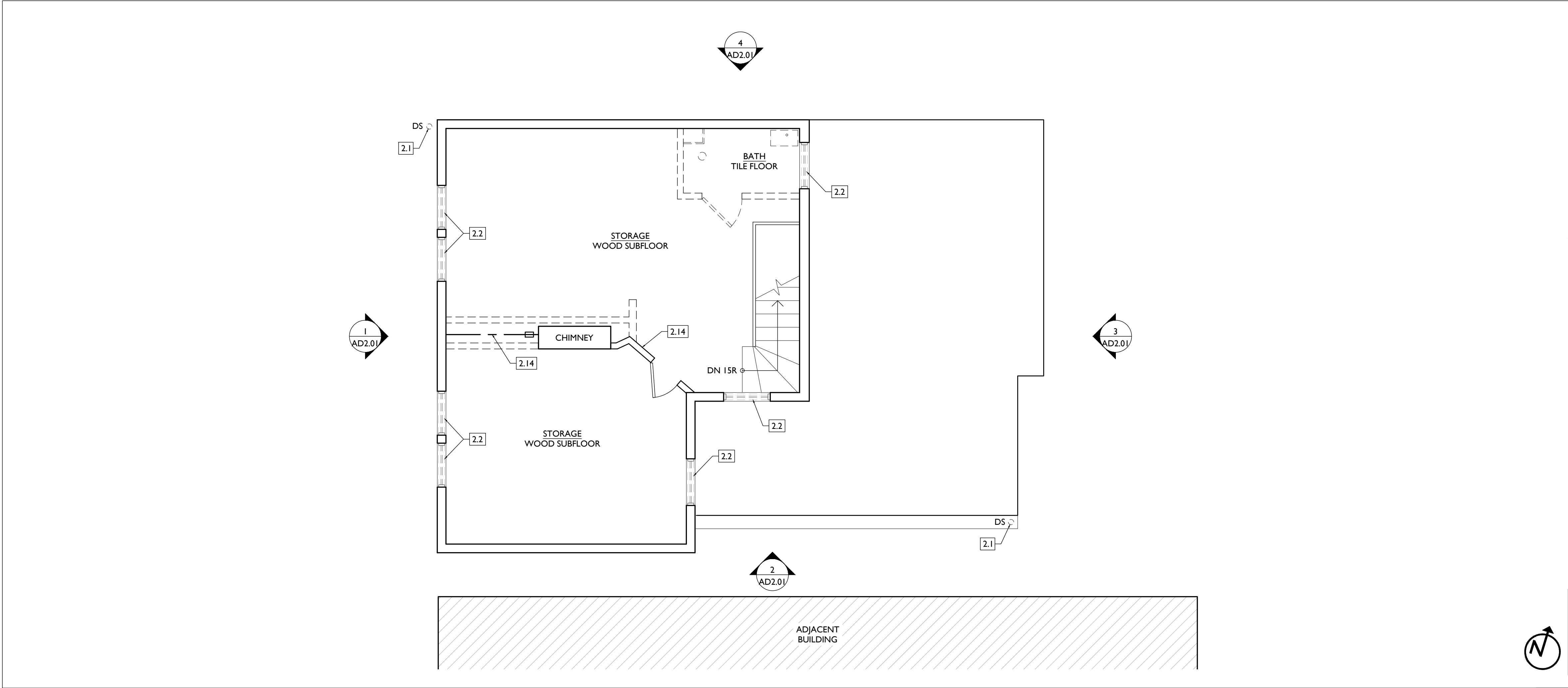
Revisions
2025-11-06 - PERMIT REV 2

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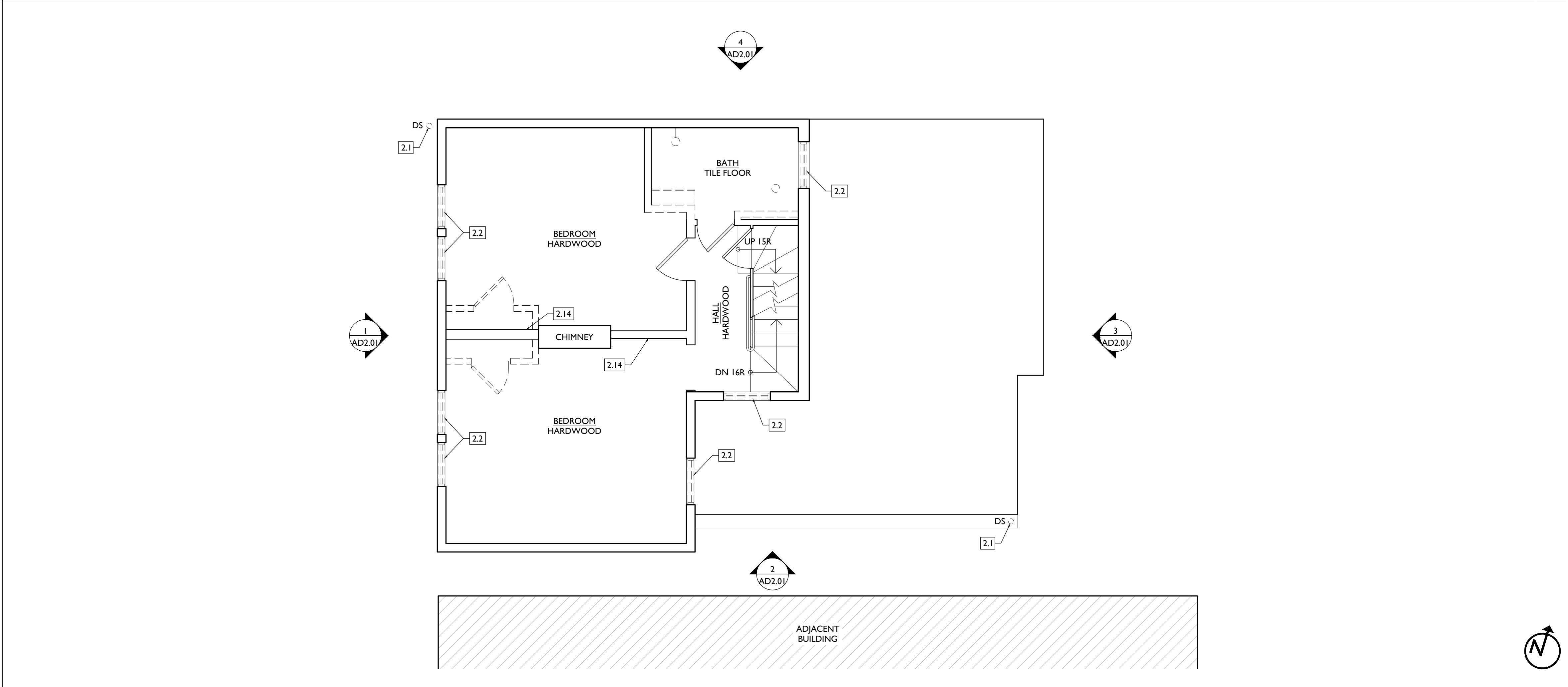
Job No: 25031 11.07.2025

DEMO PLANS

ADI.01



SCALE: 1/4" = 1'-0" EXISTING + DEMOLITION PLAN - THIRD FLOOR 2



SCALE: 1/4" = 1'-0" EXISTING + DEMOLITION PLAN - SECOND FLOOR 1

EXISTING/DEMO GRAPHIC KEY

#

KEYNOTE

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EXISTING WALL/ELEMENT TO BE REMOVED

EXISTING SPOT ELEVATION

EXISTING DOOR TO REMAIN

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REMOVE PORTION OF EXISTING FLOORING

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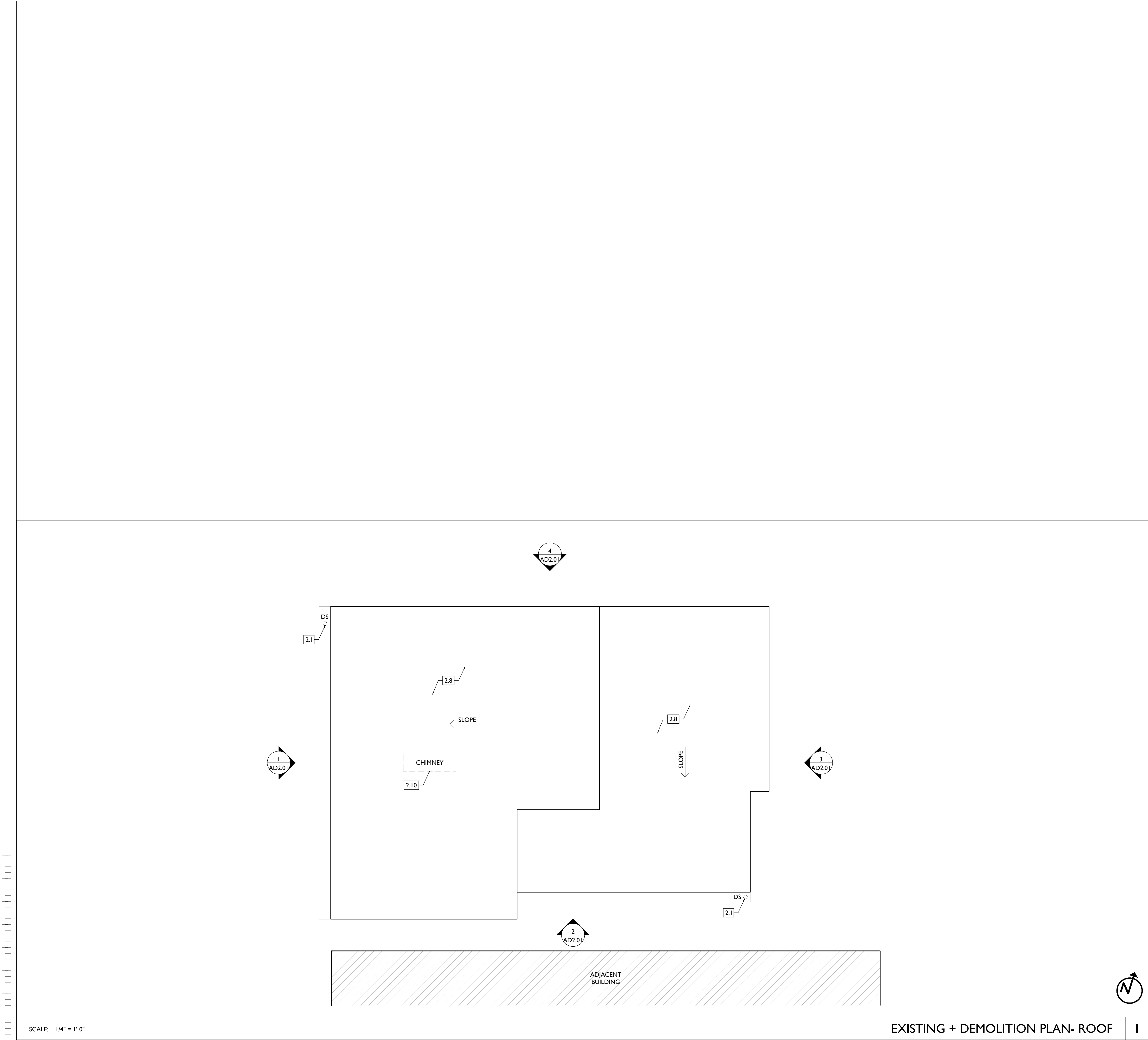
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DEMO PLANS

ADI.02



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2.15. REMOVE EXISTING GAS METER.

2.16. EXISTING EXTERIOR DOOR AND TRANSOM TO REMAIN.

2.17. PROVIDE TEMPORARY SHORING FOR PORCH ROOF DURING DEMO.

PLATTE

ARCHITECTURE

DESIGN

1810 CAMPBELL STREET SUITE 300 CINCINNATI, OH 45202 513.871.1850 www.plattedesign.com

DATE: 10/08/2025

BY: KJ

PROJECT: THE PORT SEDAMSVILLE 2

REGISTERED PROFESSIONAL ARCHITECT

KURT J. PLATTE 10833

KURT J. PLATTE 10833

Exp. Date: 12.31.2025

Design Team: BR, RO, CH

Progress Dates

2025.10.08 - PERMIT

Revisions

PROPOSED PROJECT:

THE PORT

SEDAMSVILLE 2

654 STEINER AVE

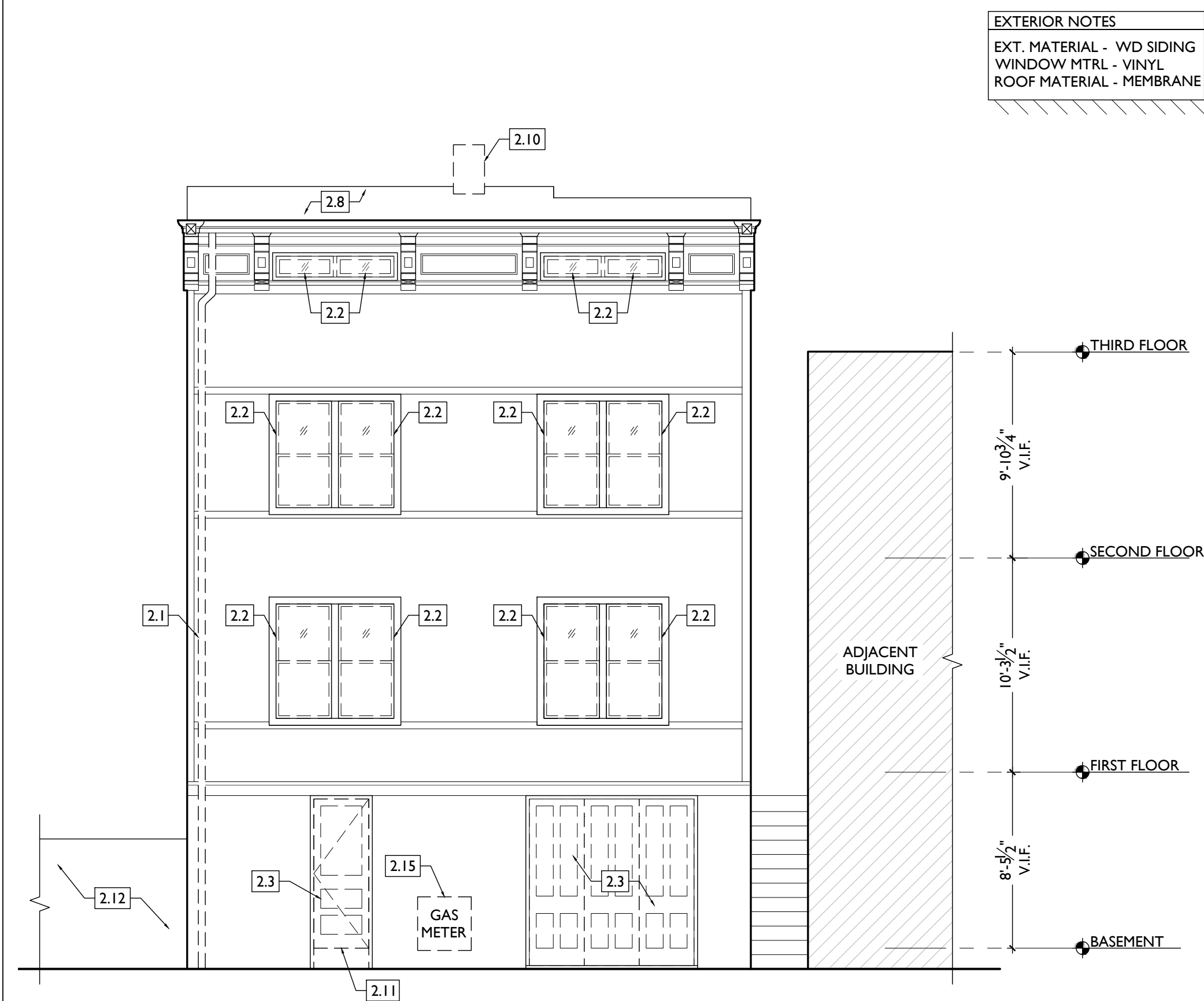
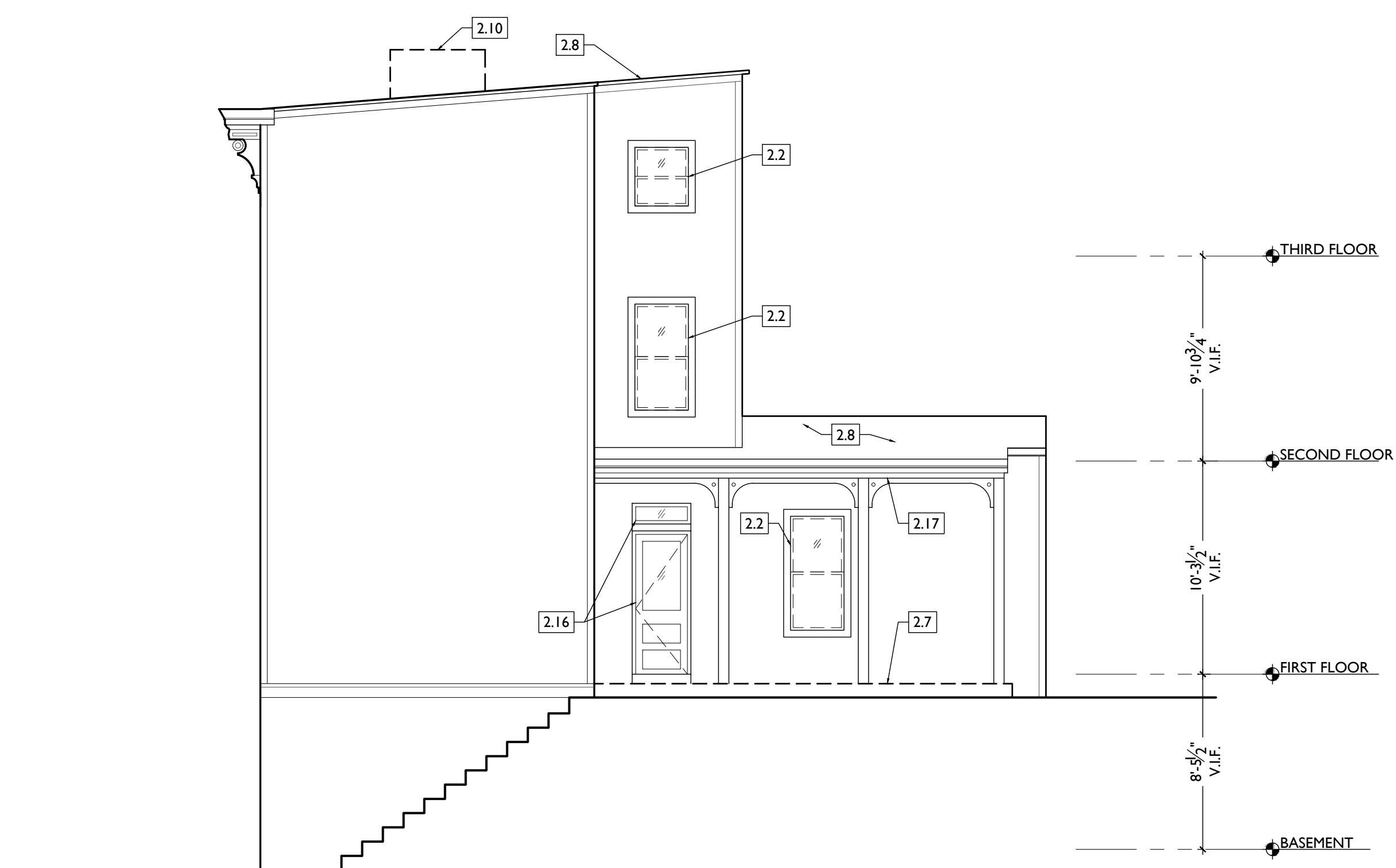
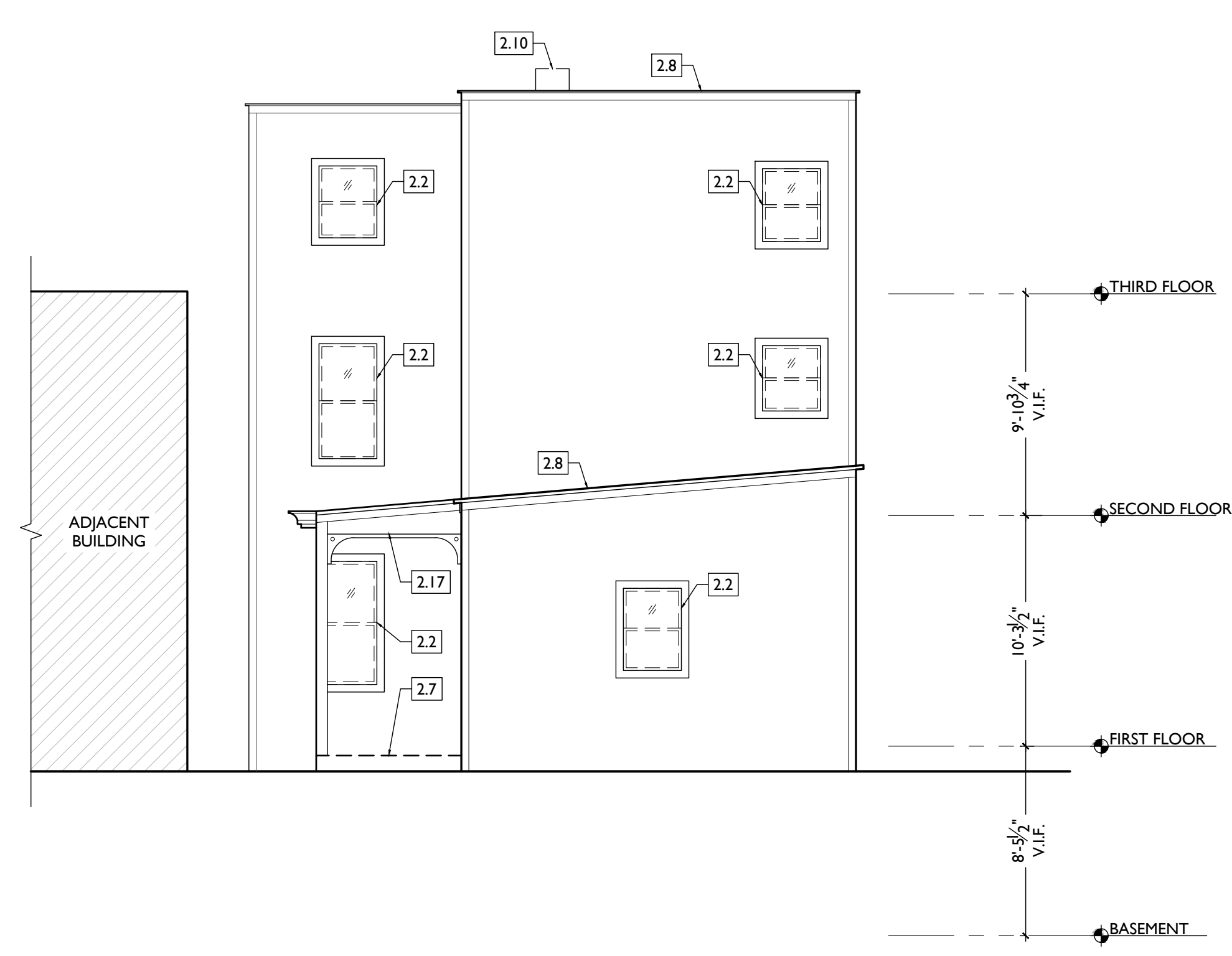
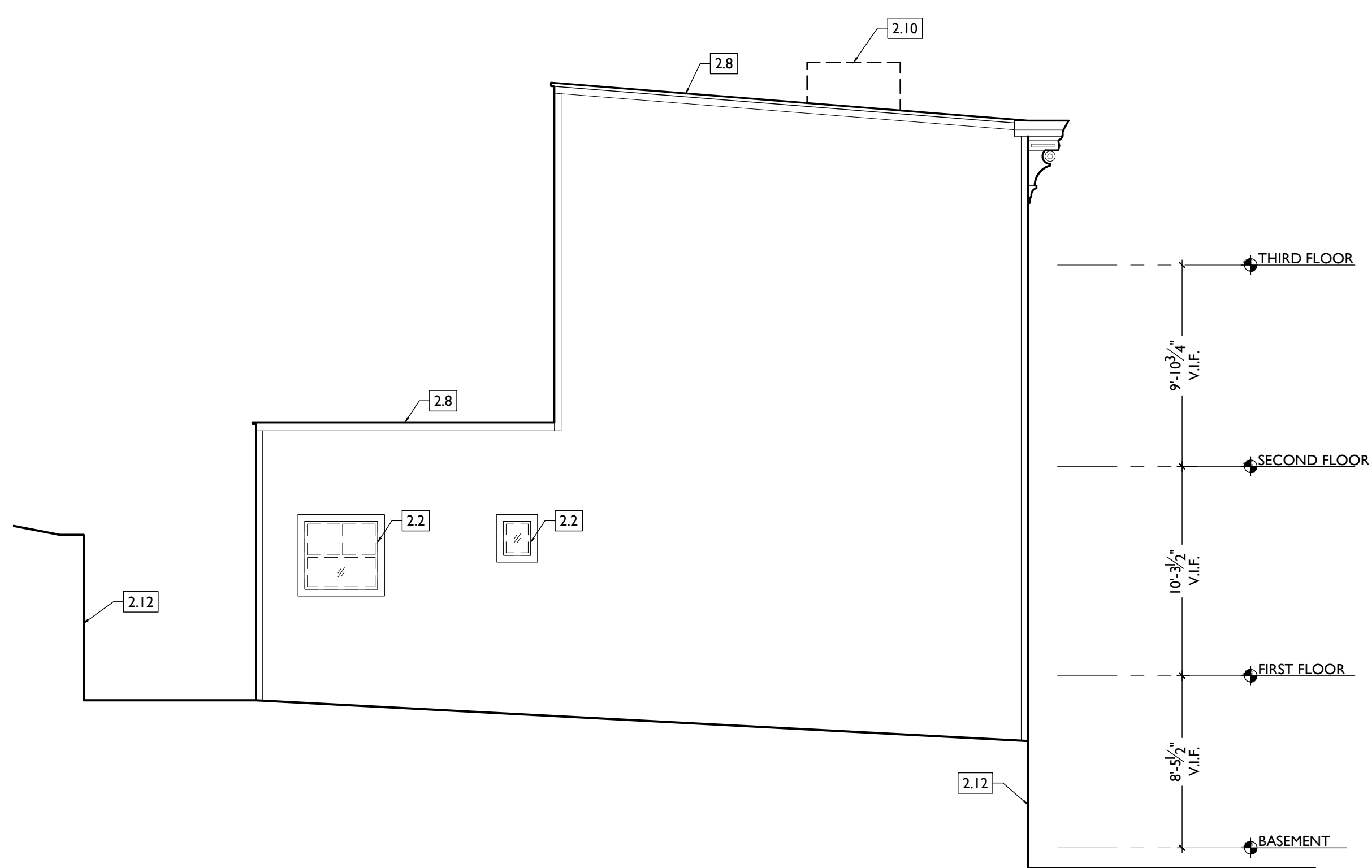
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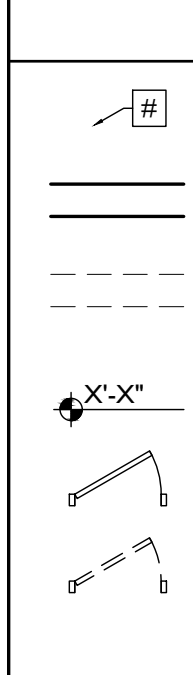
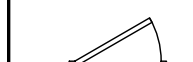
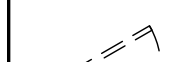

Job No: 25031

10.08.2025

DEMO PLANS

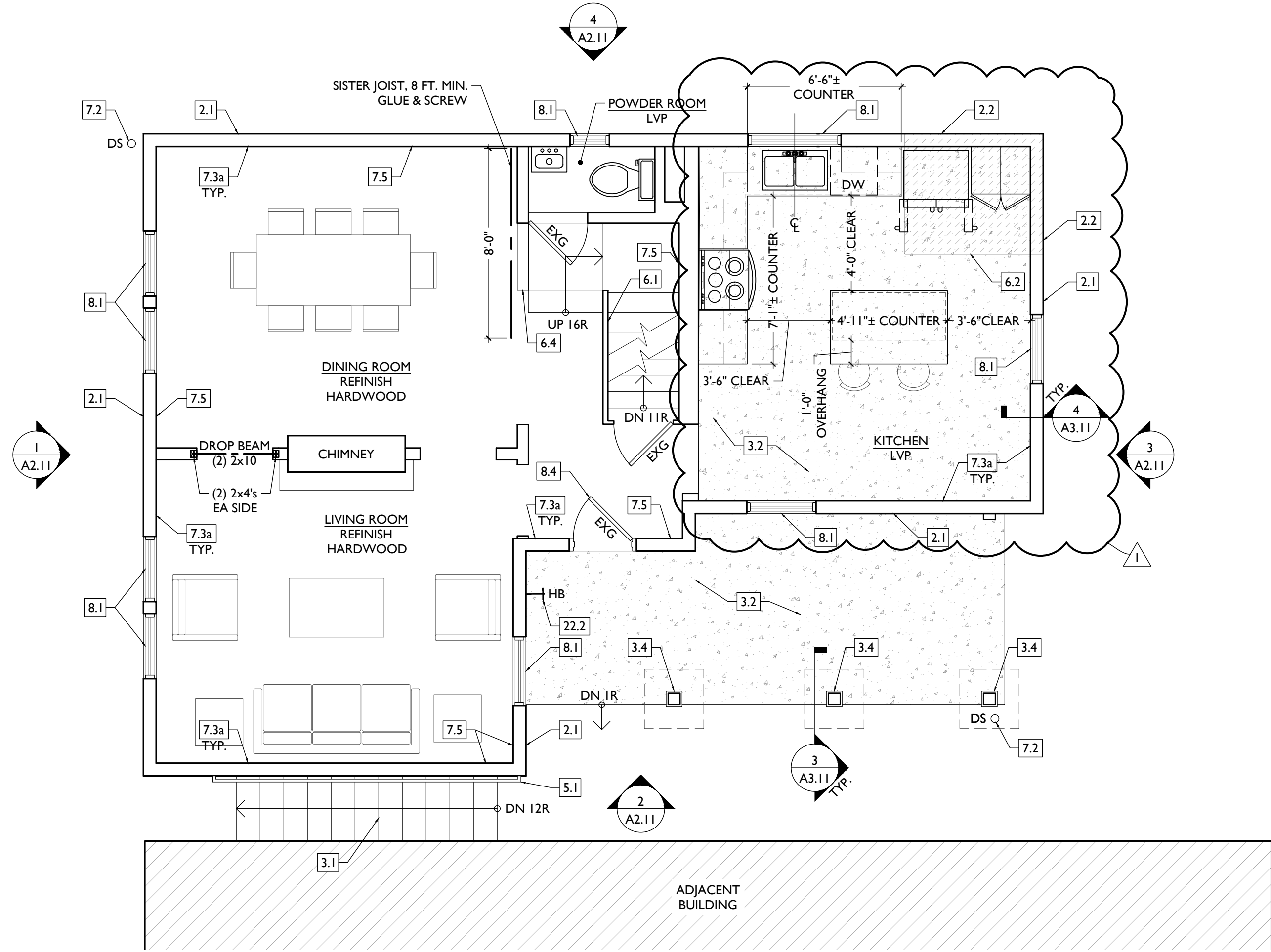
ADI.03



- | | |
|---|---|
|  <p># KEYNOTE</p> <p>===== EXISTING WALL TO REMAIN</p> <p>----- EXISTING WALL/ELEMENT TO BE REMOVED</p> <p>X'-X" EXISTING SPOT ELEVATION</p> <p> EXISTING DOOR TO REMAIN</p> <p> EXISTING DOOR TO BE REMOVED</p> |  REMOVE PORTION OF EXISTING FLOORING |
| <h2 style="text-align: center;">EXISTING/DEMO GENERAL NOTES</h2> | |
| <div style="display: flex; justify-content: space-between;"> <div style="width: 48%;"> <p>A. DURING CONSTRUCTION, TAKE CARE TO PROTECT ELEMENTS THAT ARE TO REMAIN/BE REINSTALLED.</p> <p>B. UNLESS NOTED OTHERWISE, REMOVE ALL FLOOR FINISH MATERIALS AND PREPARE SUB-FLOOR FOR NEW FINISH. COORDINATE REMOVAL WITH FINAL SELECTIONS.</p> <p>C. FLOOR, ASSUMED TO BE GENERALLY LEVEL AND FLAT, AT COMPLETION OF DEMOLITION, COORD WITH ARCHITECT AND GC TO DETERMINE IF ANY LEVELING/ PATCHING OF SLAB WILL BE REQUIRED FOR FINISH INSTALLATION.</p> <p>D. ALL EXISTING DRYWALL AND PLASTER TO BE REMOVED U.N.O. TAKE CARE TO LEAVE STUDS, AND MASONRY BEYOND UNLESS INDICATED AS DEMOLISHED IN THE PLANS/ELEVATIONS.</p> <p>E. WHERE NEW WALL FINISHES ARE PROPOSED ON EXISTING WALLS, REMOVE EXISTING FINISH AND REPAIR AND PREP DRYWALL BELOW FOR NEW FINISH. SEE NEW WORK PLANS AND FINISH SCHEDULE.</p> <p>F. REMOVE ALL (NON CODE COMPLIANT) ELECTRICAL WIRING AND ALL EXISTING ELECTRICAL FIXTURES, INTERIOR AND EXTERIOR.</p> </div> <div style="width: 48%;"> <p>G. REMOVE ALL OLD PLUMBING WATER AND PVC PIPING. REPLACE WATER HEATER.</p> <p>H. MEP WORK TO BE DESIGN-BUILD BY GC -- COORDINATE DEMOLITION WITH GENERAL CONTRACTOR TO ENSURE THAT ALL ITEMS THAT ARE TO REMAIN ARE PROTECTED DURING DEMOLITION. WHERE MECHANICAL GRILLS, DUCTS, ETC., ARE SHOWN TO BE REMOVED OR ARE IN AREAS OF WORK, TAKE CARE TO CAREFULLY REMOVE AND SALVAGE FOR POTENTIAL REUSE. SEE NEW WORK PLANS AND RCPs.</p> <p>I. AT COMPLETION OF DEMOLITION, ALL FLOORS TO BE SWEEP CLEAN.</p> <p>J. UNLESS NOTED OTHERWISE, ALL FIREPLACE SURROUNDS AND MANTELS TO REMAIN.</p> <p>K. UNLESS NOTED OTHERWISE, ALL EXG. BASE, WINDOW, AND DOOR TRIM TO REMAIN.</p> <p>L. IF REMOVING PLASTER OR DRYWALL ON EXTERIOR WALLS, SCORE AND CUT JUST ABOVE EXG. BASE TRIM SO IT CAN REMAIN IN PLACE.</p> </div> </div> | |
| <h2 style="text-align: center;">EXISTING/DEMO # KEYED NOTES</h2> | |
| <p>KEYED NOTES</p> <p>KEYED NOTES ARE CATEGORIZED FOR ORGANIZATION PURPOSES ONLY. NOTES MAY REQUIRE MATERIALS OR WORK IN CATEGORIES OTHER THAN WHERE THEY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK DESCRIBED IN ALL APPLICABLE NOTES REGARDLESS OF THE CATEGORY IN WHICH THEY OCCUR.</p> <p>ALL KEYED NOTES LISTED MAY NOT APPLY TO THIS SHEET.</p> | |

- I. **GENERAL**
- 1.1. NOT USED
- 1.2.
2. **EXG. CONDITIONS**
- 2.1. REMOVE EXISTING DOWNSPOUT. REPAIR EXISTING BOX GUTTER.
- 2.2. REMOVE EXISTING WINDOW.
- 2.3. REMOVE EXISTING DOOR.
- 2.4. REMOVE BATHROOM FIXTURES, CAP PLUMBING. SEE NEW WORK PLANS.
- 2.5. REMOVE FURNACE AND ACCOMPANYING DUCTWORK.
- 2.6. REMOVE ADHERED/APPLIED FLOORING BACK TO SUBFLOOR/HARDWOOD
- 2.7. REMOVE CONCRETE SLAB IN THIS AREA.
- 2.8. REMOVE EXG. ROOFING MATERIAL.
- 2.9. REMOVE SOFFIT/DROPPED CLG ABOVE.
- 2.10. REMOVE CHIMNEY BELOW ROOF LINE.
- 2.11. REMOVE CONCRETE RAMP.
- 2.12. EXISTING RETAINING WALL TO REMAIN.
- 2.13. EXISTING ELECTRICAL PANEL TO REMAIN.
- 2.14. EXISTING LOAD BEARING WALL / HEADER TO REMAIN.
- 2.15. REMOVE EXISTING GAS METER.
- 2.16. EXISTING EXTERIOR DOOR AND TRANSOM TO REMAIN.
- 2.17. PROVIDE TEMPORARY SHORING FOR PORCH ROOF DURING DEMO.

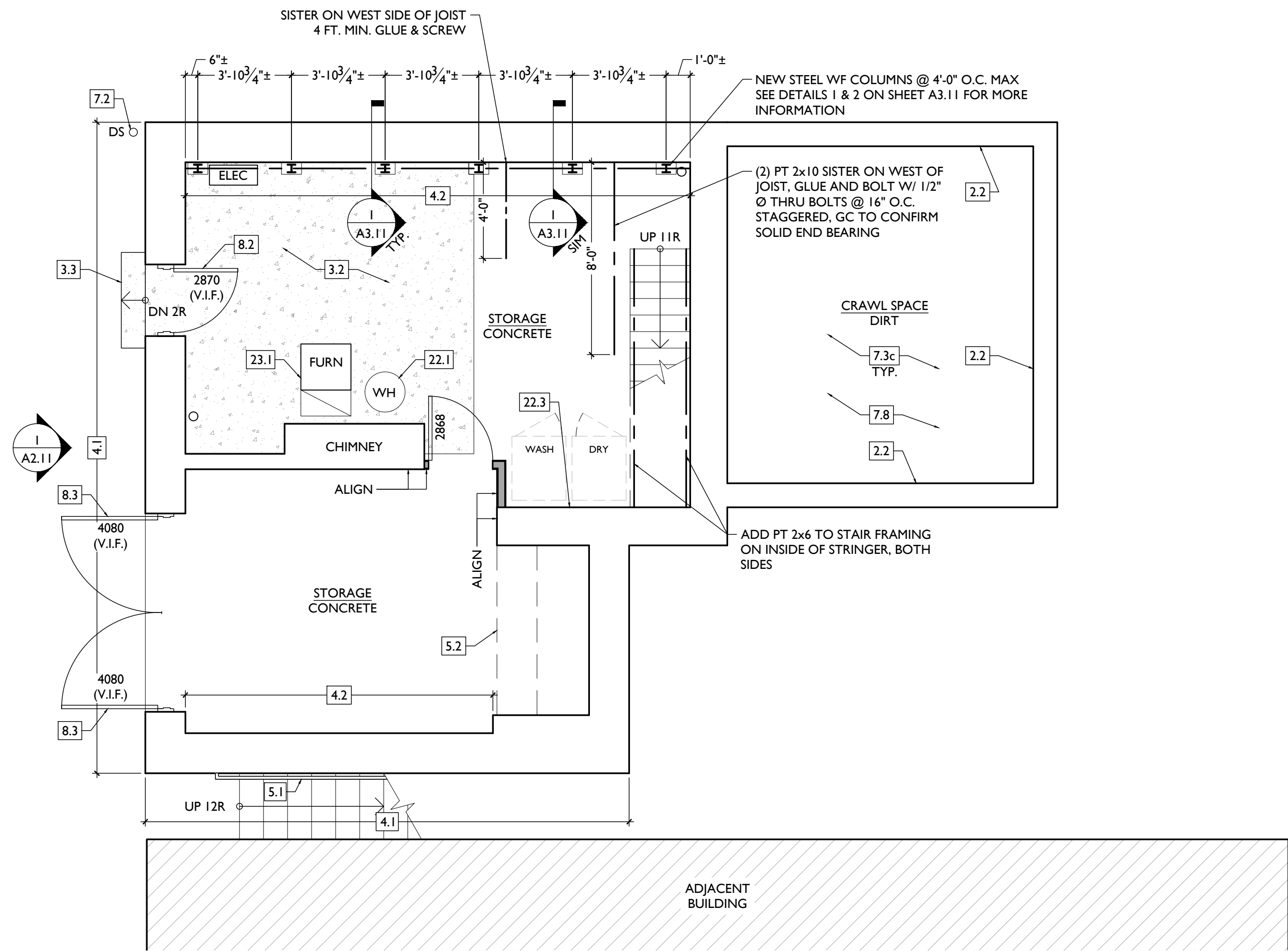
<div><div><div>PLATTE</div><div>ARCHITECTURE</div><div>+</div><div>DESIGN</div></div><div><div>1810 CAMPBELL STREET</div><div>SUITE 300</div><div>CINCINNATI, OH 45202</div><div>513.871.1850</div><div>www.plattedesign.com</div></div></div>	
<div><div></div><div></div></div>	
<div><div><div><div>SEAL OF THE ARCHITECT</div><div>KURT J. PLATTE</div><div>10833</div><div>REGISTERED</div></div><div><div>10833</div><div>PLATTE</div><div>J</div><div>KURT</div></div></div><div><div>KURT J. PLATTE 10833</div><div>Exp. Date: 12.31.2025</div></div></div>	
<div>Design Team: BR, RO, CH</div>	
<div>Progress Dates</div> <div>2025.10.08 - PERMIT</div>	
<div>Revisions</div> <div></div>	
<div></div>	
<div><div>PROPOSED PROJECT:</div><div>THE PORT</div><div>SEDAMSVILLE 2</div><div>654 STEINER AVE</div><div>CINCINNATI, OH 45204</div></div>	
<div><div>Job No: 25031</div><div>10.08.2025</div></div>	
<div>DEMO ELEV3</div>	
<div>AD2.01</div>	



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - FIRST FLOOR

2



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - BASEMENT

1

PLANS GRAPHIC KEY:

	KEYNOTE		DENOTES CEILING HEIGHT
	EXISTING INTERIOR WALL		STRUCTURAL/REPAIR WORK AT CEILING/FLOOR.
	NEW PARTITION WALL		AREA OF MASONRY REPAIR/TUCKPOINTING
	OBJECT OVERHEAD		AREA OF NEW CONCRETE SLAB
	OPENING CONTAINS SAFETY GLAZING		
	ELEVATION TAG		
	NEW DOOR WIDTH AND SIZE (EXAMPLE 2'-8" X 6'-8")		
	EXG DOOR		EMERGENCY ESCAPE AND RESCUE WINDOW.

NEW WORK PLANS & ELEVATIONS GENERAL NOTES:

A. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
B. ALL DIMENSIONS TO NEW WALLS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
C. ALL DIMENSIONS TO EXISTING WALLS ARE TO FACE OF FINISH.
D. ALL INTERIOR WALLS ARE 2X4 WITH 1/2" GYP BD EACH SIDE, UNLESS NOTED OTHERWISE.
E. PROVIDE MOISTURE/MOLD RESISTANT DRYWALL WITHIN 6' HORIZONTALLY FROM ALL SOURCES OF WATER, SUCH AS SINKS, WATER HEATERS, ETC.
F. PROVIDE BLOCKING IN WALLS FOR ALL SHELVING, CABINETS, ETC.
G. WHERE ITEMS ARE NOT DIMENSIONED BUT CLEARLY INTENDED TO BE CENTERED ON A SPACE OR ALIGNED WITH ANOTHER ELEMENT, TAKE CARE TO CENTER/ALIGN. CONTACT ARCHITECT FOR ADDITIONAL INFORMATION AS REQUIRED. DO NOT SCALE PLANS.
H. NEW DOORS TO BE 4" MIN FROM WALL.
I. NEW INTERIOR DOORS TO BE 2 PANEL, HOLLOW CORE.
J. INSTALL NEW PAINT GRADE TRIM AT DOORS, WINDOWS AND FLOORS, WHERE HISTORIC TRIM IS NOT PRESENT.
K. SEE A4.00 DRAWINGS FOR FINISH, EQUIPMENT, AND PLUMBING SCHEDULES.
L. NEW INSULATION AT ROOF/UNINHABITABLE ATTIC SPACES. INSULATION VALUES PER THE O.R.C. TYPICAL UNLESS NOTED OTHERWISE.
M. MECHANICAL, ELECTRICAL, PLUMBING - REFER TO DESIGN BUILD DRAWINGS.
N. AVOID OUTLETS AND SWITCHES IN FEATURE WALLS.
O. OWNER TO REVIEW POWER PLANS FOR SWITCHING AND OUTLET LOCATIONS.
P. OUTLET AND SWITCH COLORS TO MATCH WALL.

KEYED NOTES

KEYED NOTES ARE CATEGORIZED FOR ORGANIZATIONAL PURPOSES ONLY. NOTES MAY REQUIRE MATERIALS OR WORK IN CATEGORIES OTHER THAN WHERE THEY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK DESCRIBED IN ALL APPLICABLE NOTES REGARDLESS OF THE CATEGORY IN WHICH THEY OCCUR.

ALL KEYED NOTES LISTED MAY NOT APPLY TO THIS SHEET.

NEW WORK # | KEYED NOTES:

1. GENERAL

1.1. NOT USED.

2. EXG. CONDITIONS

2.1. RETAIN AND REPAIR EXISTING WOOD SIDING.
2.2. GC TO CONFIRM EXISTING FOUNDATION. SEE DETAIL 4 ON A3.11 FOR REPAIRS.

3. CONCRETE

3.1. REPAIR CONCRETE STEPS
3.2. NEW 4" CONCRETE SLAB OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER GRAVEL FILL.
3.3. NEW CONCRETE STEPS.
3.4. NEW 8"x8" CONCRETE PIERS, SEE DETAIL 3 ON SHEET A3.11

4. MASONRY

4.1. TUCKPOINT & PARGE EXTERIOR OF FOUNDATION WALL IN THIS AREA.
4.2. TUCKPOINT INTERIOR STONE WALL.

5. METALS

5.1. NEW METAL HANDRAIL, 36" A.F.F. TO MEET TYPE I OR TYPE II GRASPABILITY PER THE O.R.C.
5.2. SCRAPE & PAINT STEEL BEAMS

6. WOOD, PLASTICS, COMPOSITES

6.1. REINFORCE EXISTING STAIR HANDRAIL AND REPLACE MISSING BALUSTERS, SECURE EXISTING BALUSTERS IN PLACE.
6.2. REPLACE OR SISTER EXISTING DAMAGED STUDS IN THIS AREA.
6.3. REINFORCE OR REPLACE EXISTING STAIR TREADS IN THIS AREA.
6.4. NEW WOOD CAP ON EXISTING HALF WALL.

7. THERMAL AND MOISTURE PROTECTION

7.1. NEW ROOF.
7.2. NEW DOWNSPOUT, REPAIR EXISTING BOX GUTTER.
7.3. INSULATION.
7.3.a. BATT INSULATION AT EXTERIOR WALLS.
7.3.b. BATT INSULATION BETWEEN ROOF RAFTERS, G.C. TO PROVIDE VENT Baffles IN ORDER TO MAINTAIN 1" AIR GAP FOR VENTILATION, IN COMPLIANCE WITH THE RCO.
7.3.c. BATT INSULATION BETWEEN FLOOR JOISTS.
7.4. PROVIDE BOX VENT PER MANUFACTURER'S RECOMMENDATIONS.
7.5. MINERAL WOOL BATTS @ EVERY STUD CAVITY BETWEEN FLOORS TO CREATE FIRE-BLOCKING.
7.6. NEW GUTTER & DOWNSPOUT, TIE INTO EXISTING STORM-WATER SYSTEM.
7.7. PATCH ROOF AT REMOVED CHIMNEY.
7.8. NEW 6 MIL POLYETHYLENE VAPOR BARRIER.
7.9. PROVIDE BOX VENT PER MANUFACTURER'S RECOMMENDATIONS. QUANTITY AND SIZE OF VENTS TO BE DETERMINED BY CONTRACTOR, IN COMPLIANCE WITH RCO.

8. OPENINGS

8.1. NEW WINDOW IN EXISTING OPENING.
8.2. NEW EXTERIOR DOOR IN EXISTING OPENING: PELLA - SEE ELEVATIONS FOR PANEL CONFIGURATION.
8.3. NEW CARRIAGE DOORS IN EXISTING OPENING: PELLA - SEE ELEVATIONS FOR PANEL CONFIGURATION.
8.4. EXISTING EXTERIOR DOOR TO REMAIN, REPAIR HALF-LITE AND TRANSOM ABOVE.

9. FINISHES

9.1. NOT USED.

10. SPECIALTIES

10.1. CLOSET SHELF AND ROD PER FINISH SCHEDULE. PROVIDE BLOCKING, TYP.
10.2. NOT USED.

21. FIRE SUPPRESSION

21.1. NOT USED.

22. PLUMBING

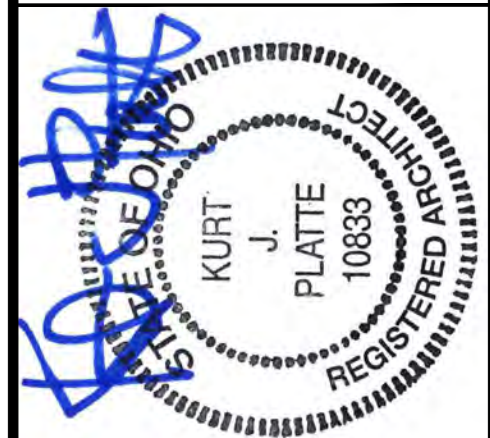
22.1. NEW 50 GAL WATER HEATER. COORDINATE WITH ELECTRIC CONTRACTOR.
22.2. PROVIDE NEW FROST PROOF HOSE BIB.
22.3. PROVIDE HOOKUPS FOR WASHER AND DRYER

23. HEATING, VENTILATING, AND AIR CONDITIONING

23.1. HEAT PUMP WITH AIR HANDLER.

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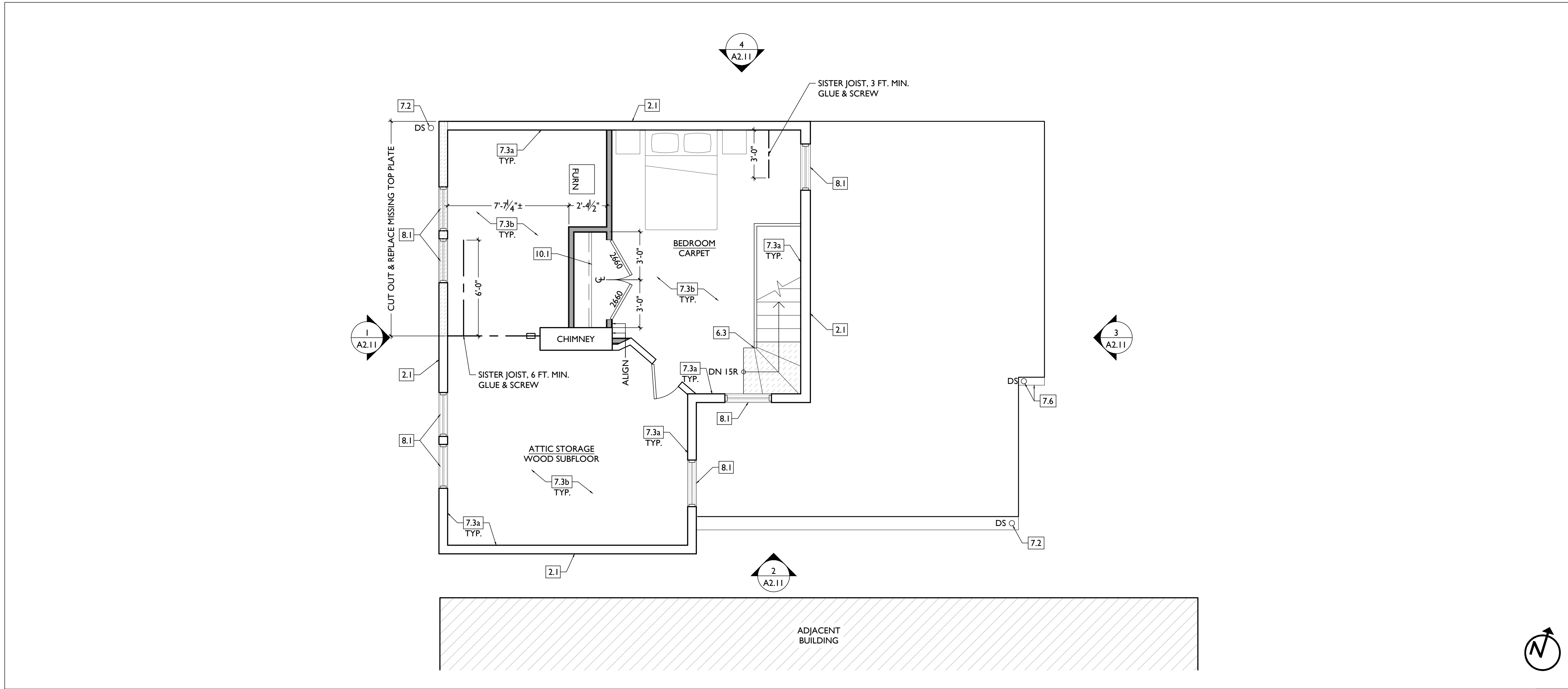
Revisions
2025-10-31 - ENG CHANGE 01

PROPOSED PROJECT:
THE PORT
SEDAMSVILLE 2
654 STEINER AVE
CINCINNATI, OH 45204

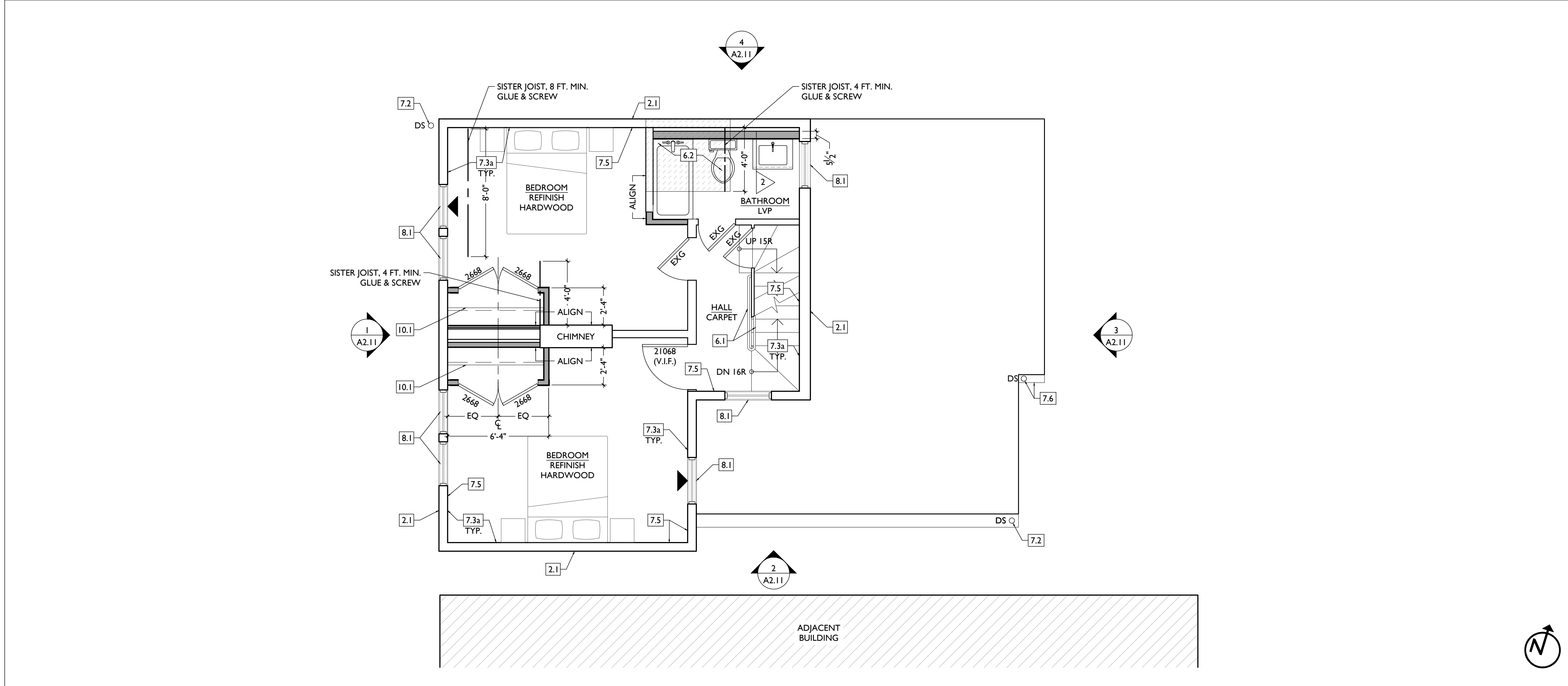
Job No: 25031 11.06.2025

PLANS

AI.11



SCALE: 1/4" = 1'-0" PROPOSED PLAN - THRID FLOOR 2



SCALE: 1/4" = 1'-0" PROPOSED PLAN - SECOND FLOOR 1

PLANS GRAPHIC KEY:
KEYNOTE
EXISTING INTERIOR WALL
NEW PARTITION WALL
OBJECT OVERHEAD
SG OPENING CONTAINS SAFETY GLAZING
ELEVATION TAG
NEW DOOR WIDTH AND SIZE (EXAMPLE 2'-8" X 6'-8")
EXG DOOR
CH: X'-X" DENOTES CEILING HEIGHT
STRUCTURAL/REPAIR WORK AT CEILING/FLOOR.
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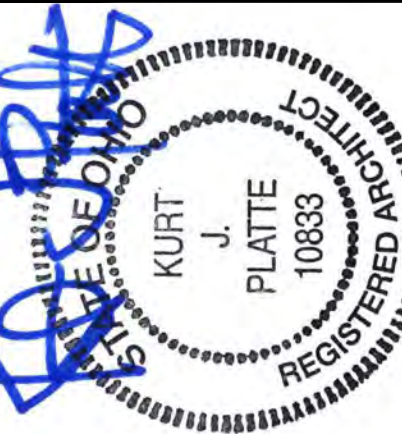
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E. PROVIDE BLOCKING IN WALLS FOR ALL SHELVING, CABINETS, ETC.
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K. NEW INSULATION AT ROOF/UNINHABITABLE ATTIC SPACES. INSULATION VALUES PER THE ORC. TYPICAL UNLESS NOTED OTHERWISE.
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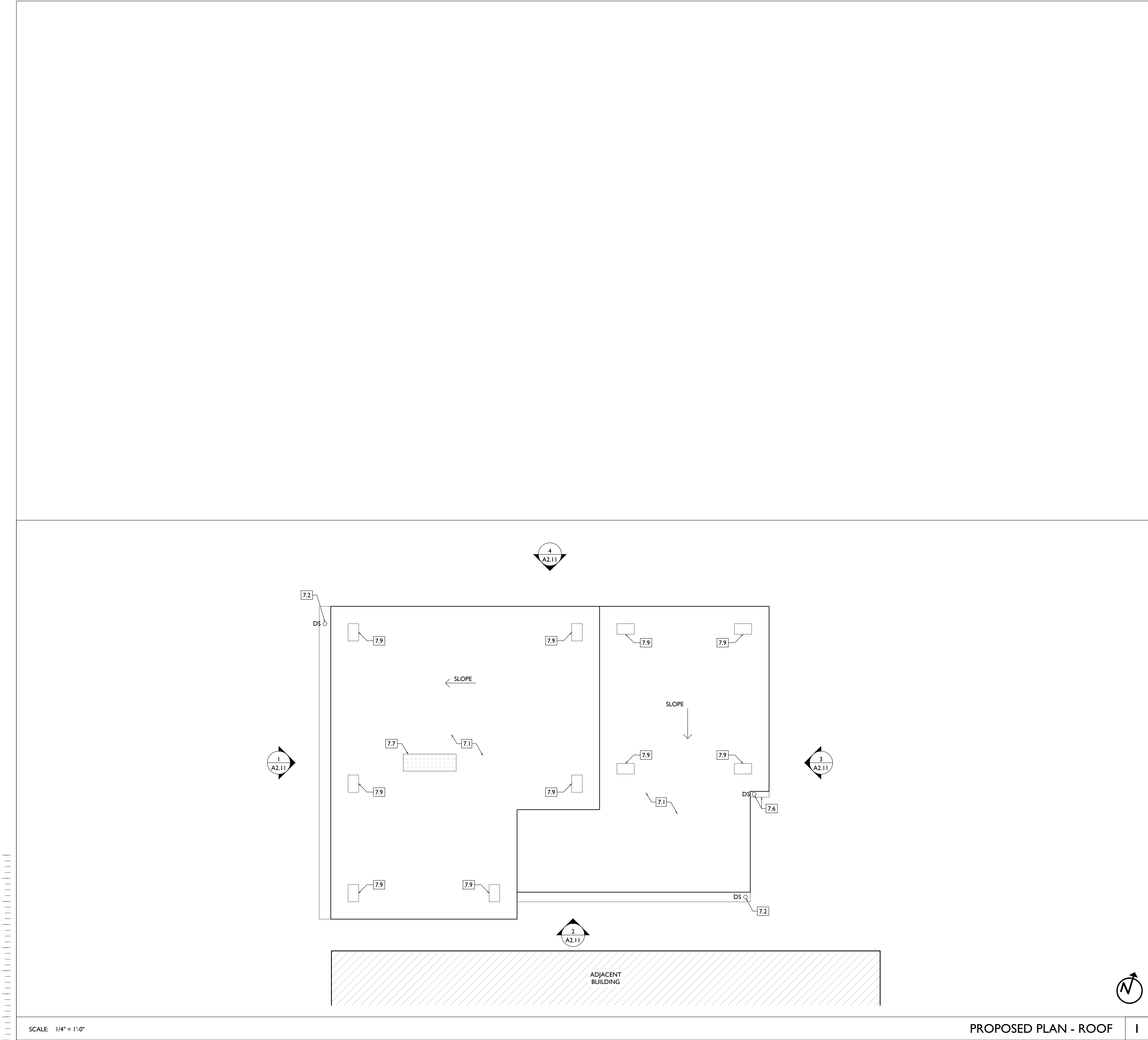
Revisions

PROPOSED PROJECT:
THE PORT
SEDAMSVILLE 2
654 STEINER AVE
CINCINNATI, OH 45204

Job No: 25031 10.08.2025

PLANS

AI.12



PLANS GRAPHIC KEY:

	KEYNOTE		DENOTES CEILING HEIGHT
	EXISTING INTERIOR WALL		STRUCTURAL/REPAIR WORK AT CEILING/FLOOR.
	NEW PARTITION WALL		AREA OF MASONRY REPAIR/TUCKPOINTING
	OBJECT OVERHEAD		AREA OF NEW CONCRETE SLAB
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M. MECHANICAL, ELECTRICAL, PLUMBING - REFER TO DESIGN BUILD DRAWINGS.
N. -AVOID OUTLETS AND SWITCHES IN FEATURE WALLS
O. -OWNER TO REVIEW POWER PLANS FOR SWITCHING AND OUTLET LOCATIONS
P. -OUTLET AND SWITCH COLORS TO MATCH WALL

NEW WORK [#] KEYED NOTES:

KEYED NOTES
KEYED NOTES ARE CATEGORIZED FOR ORGANIZATIONAL PURPOSES ONLY. NOTES MAY REQUIRE MATERIALS OR WORK IN CATEGORIES OTHER THAN WHERE THEY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK DESCRIBED IN ALL APPLICABLE NOTES REGARDLESS OF THE CATEGORY IN WHICH THEY OCCUR.

ALL KEYED NOTES LISTED MAY NOT APPLY TO THIS SHEET.

I. GENERAL
1.1. NOT USED.

2. EXG. CONDITIONS
2.1. RETAIN AND REPAIR EXISTING WOOD SIDING.
2.2. GC TO INVESTIGATE EXISTING FOUNDATION AND CRAWL SPACE AT REAR VOLUMN. COORDINATE REPAIRS AS NEEDED WITH ARCHITECT.

3. CONCRETE
3.1. REPAIR CONCRETE STEPS
3.2. NEW 4" CONCRETE SLAB OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER GRAVEL FILL
3.3. NEW CONCRETE STEPS.
3.4. NEW 8"x8" CONCRETE PIERS, SEE DETAIL 3 ON SHEET A3.1 I

4. MASONRY
4.1. TUCKPOINT & PARGE EXTERIOR OF FOUNDATION WALL IN THIS AREA.
4.2. TUCKPOINT INTERIOR STONE WALL.

5. METALS
5.1. NEW METAL HANDRAIL, 36" A.F.F. TO MEET TYPE I OR TYPE II GRASPABILITY PER THE O.R.C.
5.2. SCRAPE & PAINT STEEL BEAMS

6. WOOD, PLASTICS, COMPOSITES
6.1. REINFORCE EXISTING STAIR HANDRAIL AND REPLACE MISSING BALUSTERS, SECURE EXISTING BALUSTERS IN PLACE.
6.2. REPLACE OR SISTER EXISTING DAMAGED STUDS IN THIS AREA.
6.3. REINFORCE OR REPLACE EXISTING STAIR TREADS IN THIS AREA.
6.4. NEW WOOD CAP ON EXISTING HALF WALL.

7. THERMAL AND MOISTURE PROTECTION
7.1. NEW ROOF.
7.2. NEW DOWNSPOUT, REPAIR EXISTING BOX GUTTER.
7.3. INSULATION.
7.3.a. BATT INSULATION BETWEEN ROOF RAFTERS, G.C. TO PROVIDE VENT BAFFLES IN ORDER TO MAINTAIN 1" AIR GAP FOR VENTILATION, IN COMPLIANCE WITH THE RCO.
7.3.b. BATT INSULATION AT EXTERIOR WALLS.
7.3.c. BATT INSULATION BETWEEN FLOOR JOISTS.
7.4. PROVIDE BOX VENT PER MANUFACTURER'S RECOMMENDATIONS.
7.5. MINERAL WOOL BATTS @ EVERY STUD CAVITY BETWEEN FLOORS TO CREATE FIRE-BLOCKING.
7.6. NEW GUTTER & DOWNSPOUT, TIE INTO EXISTING STORM-WATER SYSTEM.
7.7. PATCH ROOF AT REMOVED CHIMNEY.
7.8. NEW 6 MIL POLYETHYLENE VAPOR BARRIER.
7.9. PROVIDE BOX VENT PER MANUFACTURER'S RECOMMENDATIONS. QUANTITY AND SIZE OF VENTS TO BE DETERMINED BY CONTRACTOR, IN COMPLIANCE WITH RCO.

8. OPENINGS
8.1. NEW WINDOW IN EXISTING OPENING.
8.2. NEW EXTERIOR DOOR IN EXISTING OPENING: PELLA - SEE ELEVATIONS FOR PANEL CONFIGURATION.
8.3. NEW CARRIAGE DOORS IN EXISTING OPENING: PELLA - SEE ELEVATIONS FOR PANEL CONFIGURATION.
8.4. EXISTING EXTERIOR DOOR TO REMAIN, REPAIR HALF-LITE AND TRANSOM ABOVE.

9. FINISHES
9.1. NOT USED.

10. SPECIALTIES
10.1. CLOSET SHELF AND ROD PER FINISH SCHEDULE. PROVIDE BLOCKING, TYP.
10.2. NOT USED.

21. FIRE SUPPRESSION
21.1. NOT USED.

22. PLUMBING
22.1. NEW 50 GAL WATER HEATER. COORDINATE WITH ELECTRIC CONTRACTOR.
22.2. PROVIDE NEW FROST PROOF HOSE BIB.
22.3. PROVIDE HOOKUPS FOR WASHER AND DRYER

23. HEATING, VENTILATING, AND AIR CONDITIONING
23.1. HEAT PUMP WITH AIR HANDLER.

PLATTE

ARCHITECTURE

DESIGN

1810 CAMPBELL STREET

SUITE 300

CINCINNATI, OH 45202

513.871.1850

www.plattedesign.com

KURT J. PLATTE 10833

Exp. Date: 12.31.2025

Design Team: BR, RO, CH

Progress Dates

2025.10.08 - PERMIT

Revisions

PROPOSED PROJECT:

THE PORT

SEDAMSVILLE 2

654 STEINER AVE

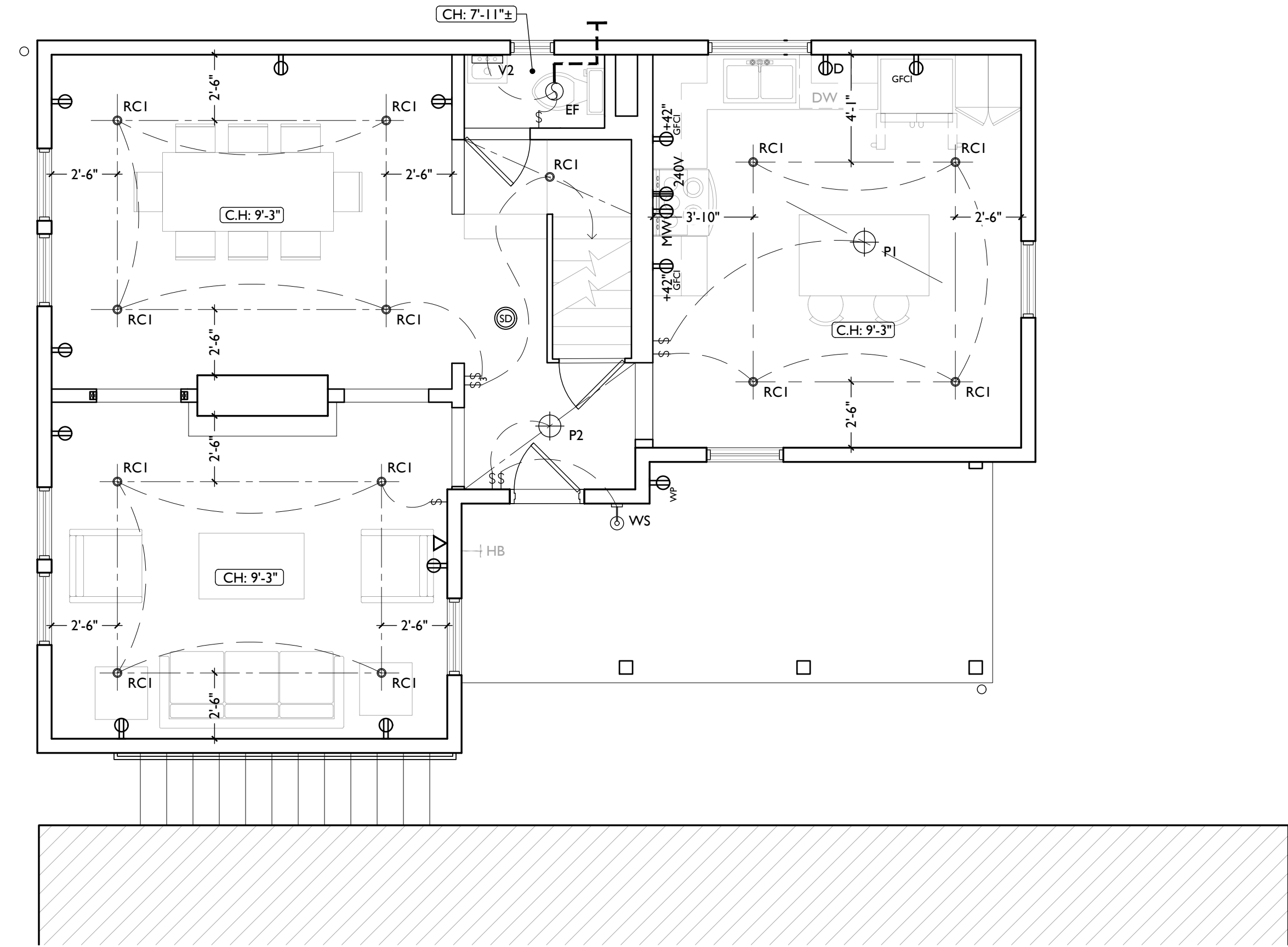
CINCINNATI, OH 45204

Job No: 25031

10.08.2025

PLANS

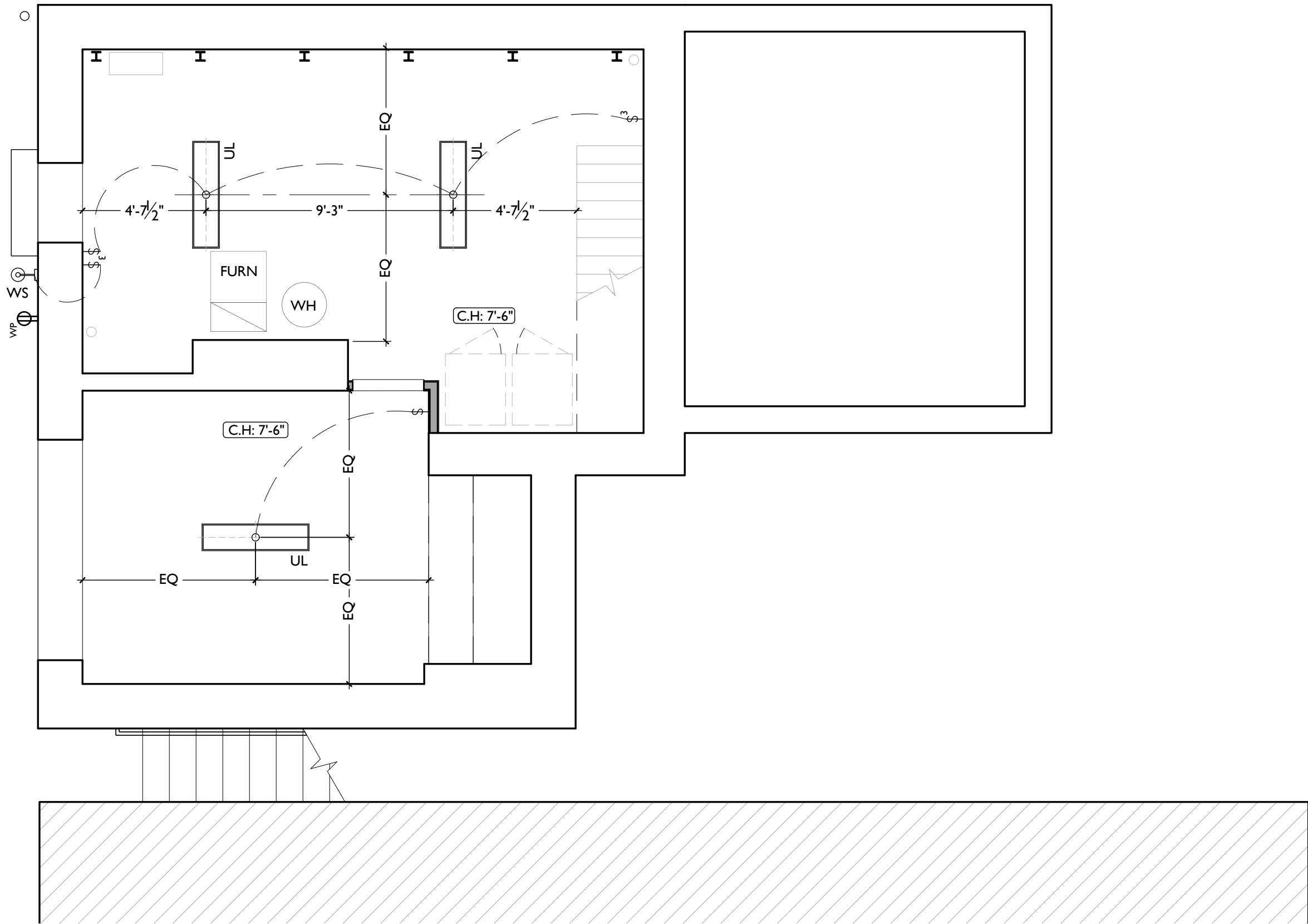
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SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN- FIRST FLOOR

2



SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN- BASEMENT

1

REFLECTED CEILING PLAN GENERAL NOTES:

- A. NOTE: THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH DWGS.
- B. IF A FIXTURE APPEARS TO BE CENTERED IN A SPACE, THEN CENTER IT.
- C. LOWERED CEILINGS AND SOFFITS SHALL BE 8'-0" HIGH A.F.F., U.N.O.
- D. CLG HTS AT EXG FLOORS ARE TO BE VLF.
- E. ALL CEILING FINISHES IN OCCUPIED SPACES TO BE SMOOTH PAINTED DRYWALL U.N.O. SEE FINISH SCHEDULE FOR PAINT COLORS.
- F. BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS - NO FINISH CLGS U.N.O.
- G. ALL SOFFITS OVER KITCHEN CABINETS TO BE 8'-0" AFF AND 2'-1 1/2" WIDE MINIMUM.
- H. PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTIAL UNITS. SEE ELEC DWGS.
- I. SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.
- J. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.
- K. ANY FIXTURES LOCATED IN AREAS WITH REMAINING HISTORIC TIN CEILINGS SHOULD BE CENTERED ON THE CEILING TILES, RATHER THAN PERFECTLY CENTERED IN THE SPACE. ADJUST THE GRID PLACEMENT/DIMENSIONS BY A FEW INCHES AS REQUIRED TO ACCOMMODATE THIS.
- L. ELECTRICAL DEVICES SHOWN FOR TYPE AND LOCATION ONLY. ALL REQUIRED DEVICES MAY NOT BE SHOWN. ELECTRICAL SYSTEM DESIGN BY OTHERS.

REFLECTED CEILING PLAN/SWITCH PLAN GRAPHIC KEY:

- CH: 8'-0" CEILING HEIGHT TAG (TYP 8'-0" U.N.O.)
- SOFFIT/LOWERED GYP BD CEILING
- COMBO SMOKE/CARBON MONOXIDE DETECTOR:
- IONIZATION (TYP BEDROOMS)
- PHOTOELECTRIC
- CENTER ON ARCHITECTURAL FEATURE
- STRUCTURAL MEMBER -
- LINE OF EXHAUST

POWER PLAN LEGEND:

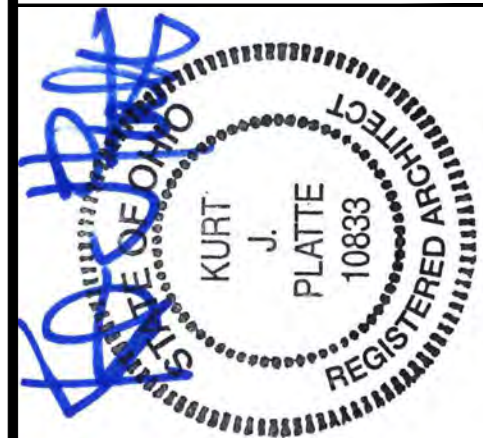
- GFCI GROUNDED
- WP WEATHER PROOF
- +42" 42" ABOVE FINISH FLOOR
- DUPLEX OUTLET
- QUAD OUTLET
- APPLIANCES OUTLET, 240 VAULT.
- DISHWASHER/DISPOSAL - PROVIDE SWITCH (FOR DISPOSAL) AND OUTLET.
- OUTLET FOR MICROWAVE. LOCATE IN CABINET ABV.
- LIGHT SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- CIRCUIT
- LOCATION FOR DATA/INTERNET.

REFLECTED CEILING PLAN FIXTURE LEGEND:

SYMBOL	FIXTURE TYPE	REMARKS
RCI	RECESSED CAN LIGHT	B.O.D. - HALO 4" CAN LESS LED LIGHT OR SIMILAR
EF	EXHAUST FAN/LIGHT COMBO	
V1 V2	WALL MOUNT VANITY LIGHT	V1 - TYPICAL OVER BATHROOM VANITIES V2 - TYPICAL OVER POWDER ROOM VANITIES
F/L	CEILING FAN WITH LIGHT	TYPICAL IN BEDROOMS. BOD - MODERN HABITAT WHISPERBLOOM 52" SATIN BRASS
WS	EXTERIOR WALL SCONCE	WALL SCONCE - TO BE DAMP RATED.
P1 P2	PENDANT	TYPICAL AT ISLANDS.
UL	UTILITY LIGHT	LED STRIP LIGHT FOR UTILITY SPACES
	FOYER LIGHT	TYPICAL AT IN FOYERS

PLATTE
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KURT J. PLATTE 10833
Exp. Date: 12.31.2025

Design Team: BR, RO, CH

Progress Dates
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Revisions

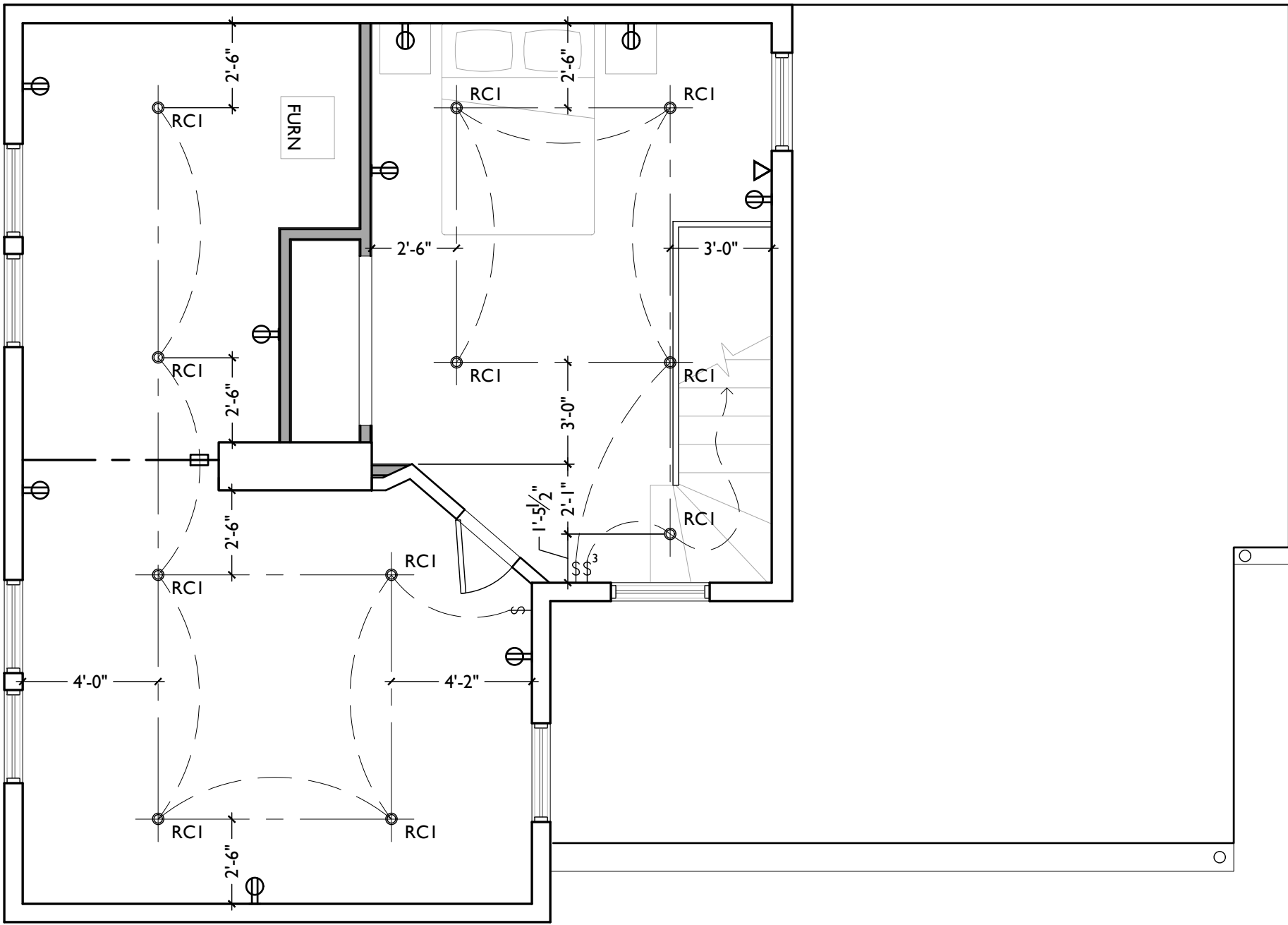
PROPOSED PROJECT:

THE PORT
SEDAMSVILLE 2
654 STEINER AVE
CINCINNATI, OH 45204

Job No: 25031 10.08.2025

RCPS

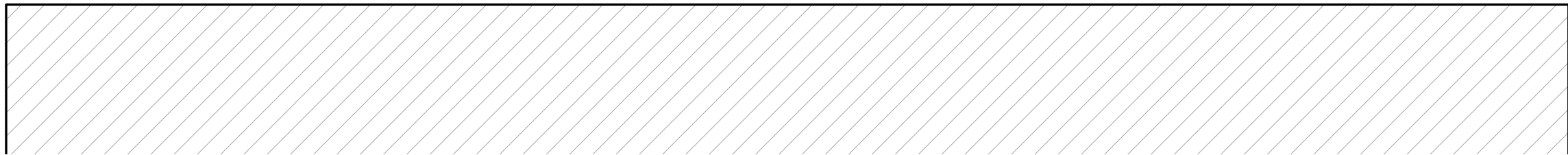
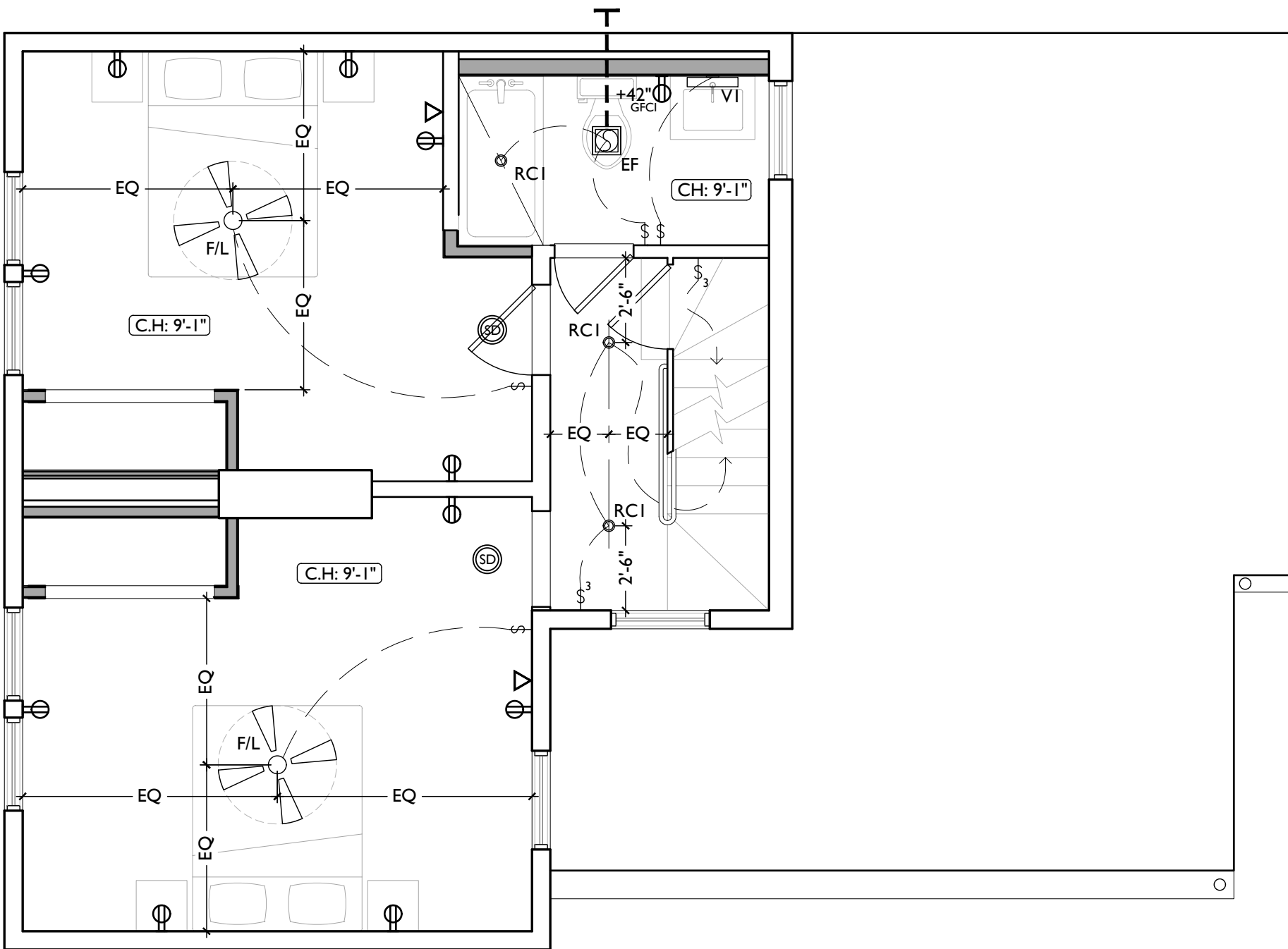
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SCALE: NTS

REFLECTED CEILING PLAN- ATTIC

2



SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN- SECOND FLOOR

1

REFLECTED CEILING PLAN GENERAL NOTES:

- A. NOTE: THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH DWGS.
- B. IF A FIXTURE APPEARS TO BE CENTERED IN A SPACE, THEN CENTER IT.
- C. LOWERED CEILINGS AND SOFFITS SHALL BE 8'-0" HIGH A.F.F., U.N.O.
- D. CLG HTS AT EXG FLOORS ARE TO BE VLF.
- E. ALL CEILING FINISHES IN OCCUPIED SPACES TO BE SMOOTH PAINTED DRYWALL U.N.O. SEE FINISH SCHEDULE FOR PAINT COLORS.
- F. BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS - NO FINISH CLGS U.N.O.
- G. ALL SOFFITS OVER KITCHEN CABINETS TO BE 8'-0" AFF AND 2'-1 1/2" WIDE MINIMUM.
- H. PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTIAL UNITS. SEE ELEC DWGS.
- I. SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.
- J. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.
- K. ANY FIXTURES LOCATED IN AREAS WITH REMAINING HISTORIC TIN CEILINGS SHOULD BE CENTERED ON THE CEILING TILES, RATHER THAN PERFECTLY CENTERED IN THE SPACE. ADJUST THE GRID PLACEMENT/DIMENSIONS BY A FEW INCHES AS REQUIRED TO ACCOMMODATE THIS.
- L. ELECTRICAL DEVICES SHOWN FOR TYPE AND LOCATION ONLY. ALL REQUIRED DEVICES MAY NOT BE SHOWN. ELECTRICAL SYSTEM DESIGN BY OTHERS.

REFLECTED CEILING PLAN/SWITCH PLAN GRAPHIC KEY:

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- IONIZATION (TYP BEDROOMS)
- PHOTOELECTRIC
- CENTER ON ARCHITECTURAL FEATURE
- STRUCTURAL MEMBER -
- LINE OF EXHAUST

POWER PLAN LEGEND:

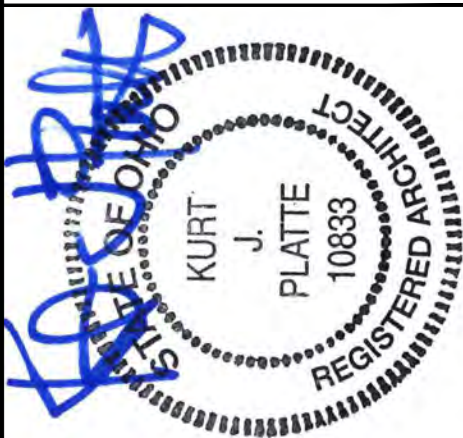
- GFCI GROUNDED
- WP WEATHER PROOF
- +42" 42" ABOVE FINISH FLOOR
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- QUAD OUTLET
- APPLIANCES OUTLET, 240 VAULT.
- DISHWASHER/DISPOSAL - PROVIDE SWITCH (FOR DISPOSAL) AND OUTLET.
- OUTLET FOR MICROWAVE. LOCATE IN CABINET ABV.
- LIGHT SWITCH
- 3 WAY SWITCH
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- CIRCUIT
- LOCATION FOR DATA/INTERNET.

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EF	EXHAUST FAN/LIGHT COMBO	
V1 V2	WALL MOUNT VANITY LIGHT	V1 - TYPICAL OVER BATHROOM VANITIES V2 - TYPICAL OVER POWDER ROOM VANITIES
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P1	PENDANT	TYPICAL AT ISLANDS.
UL	UTILITY LIGHT	LED STRIP LIGHT FOR UTILITY SPACES
P2	FOYER LIGHT	TYPICAL AT IN FOYERS

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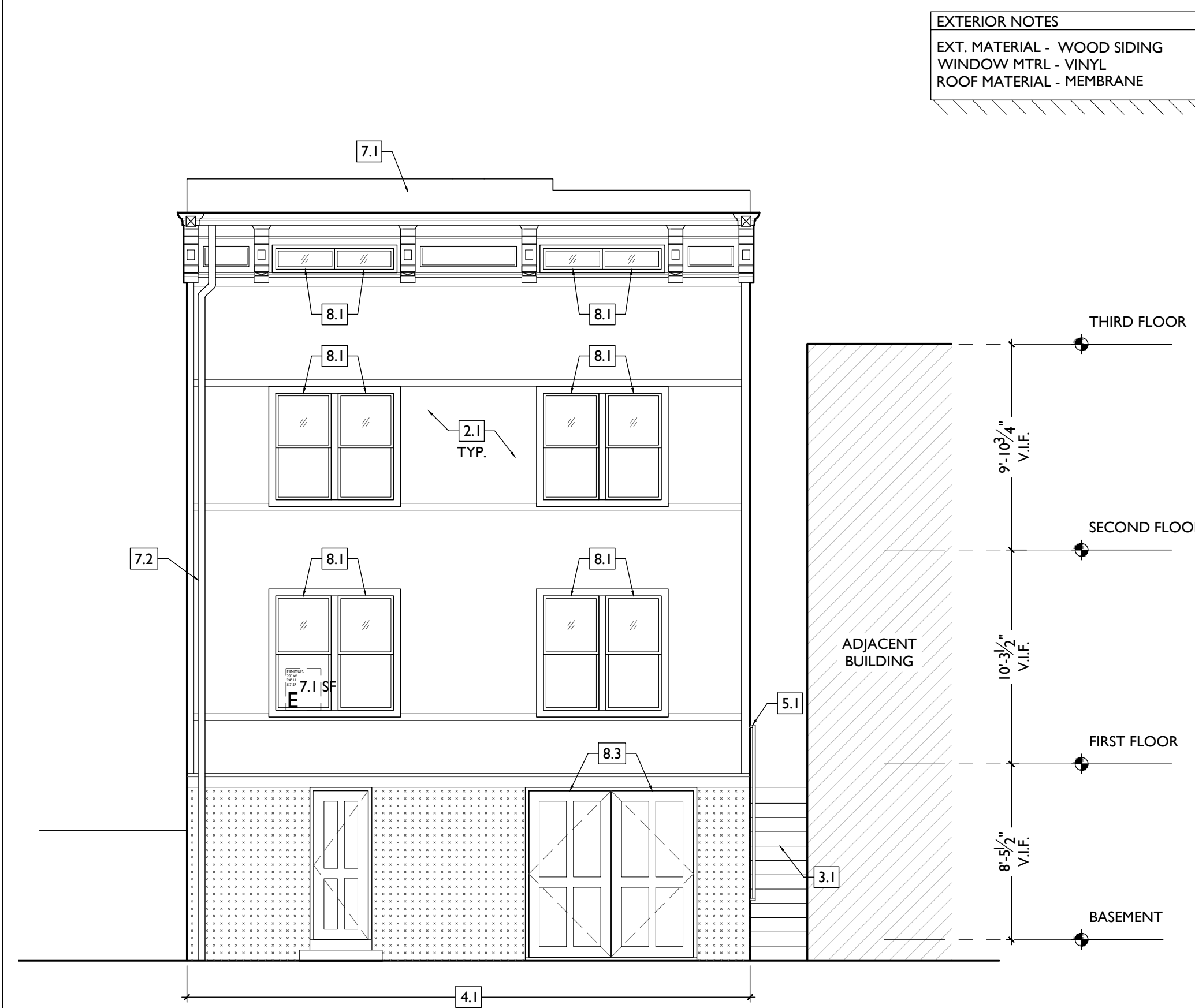
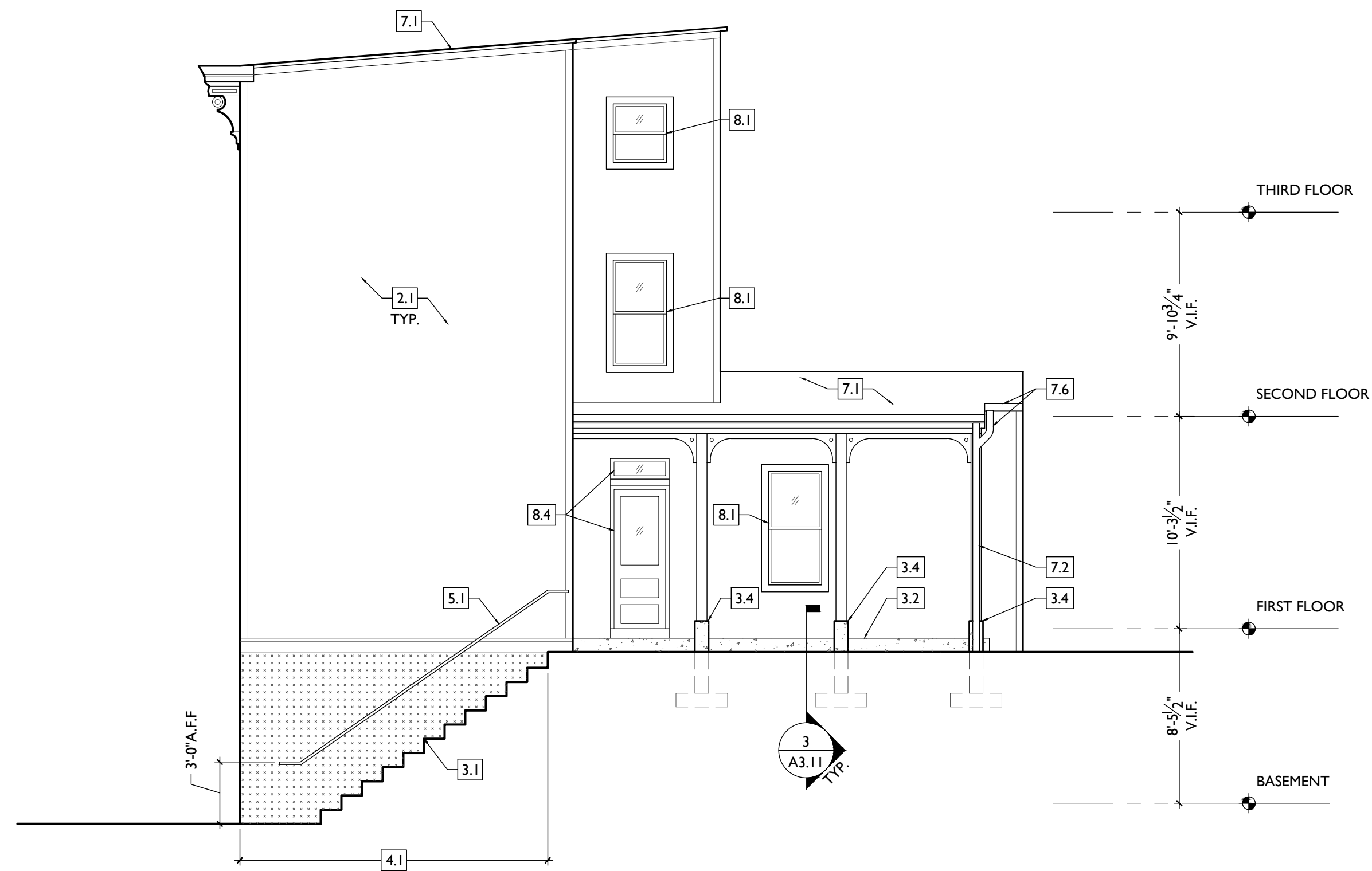
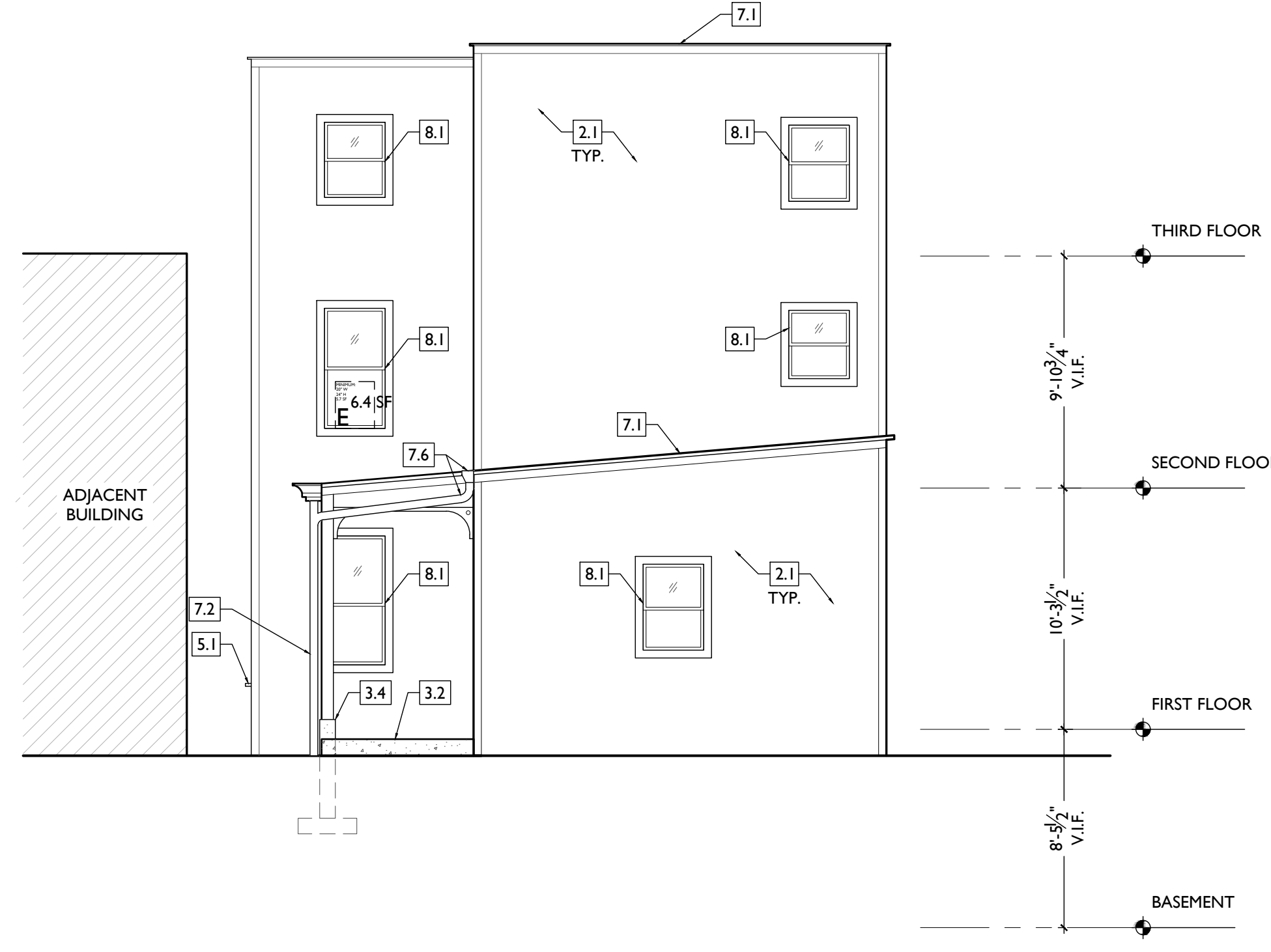
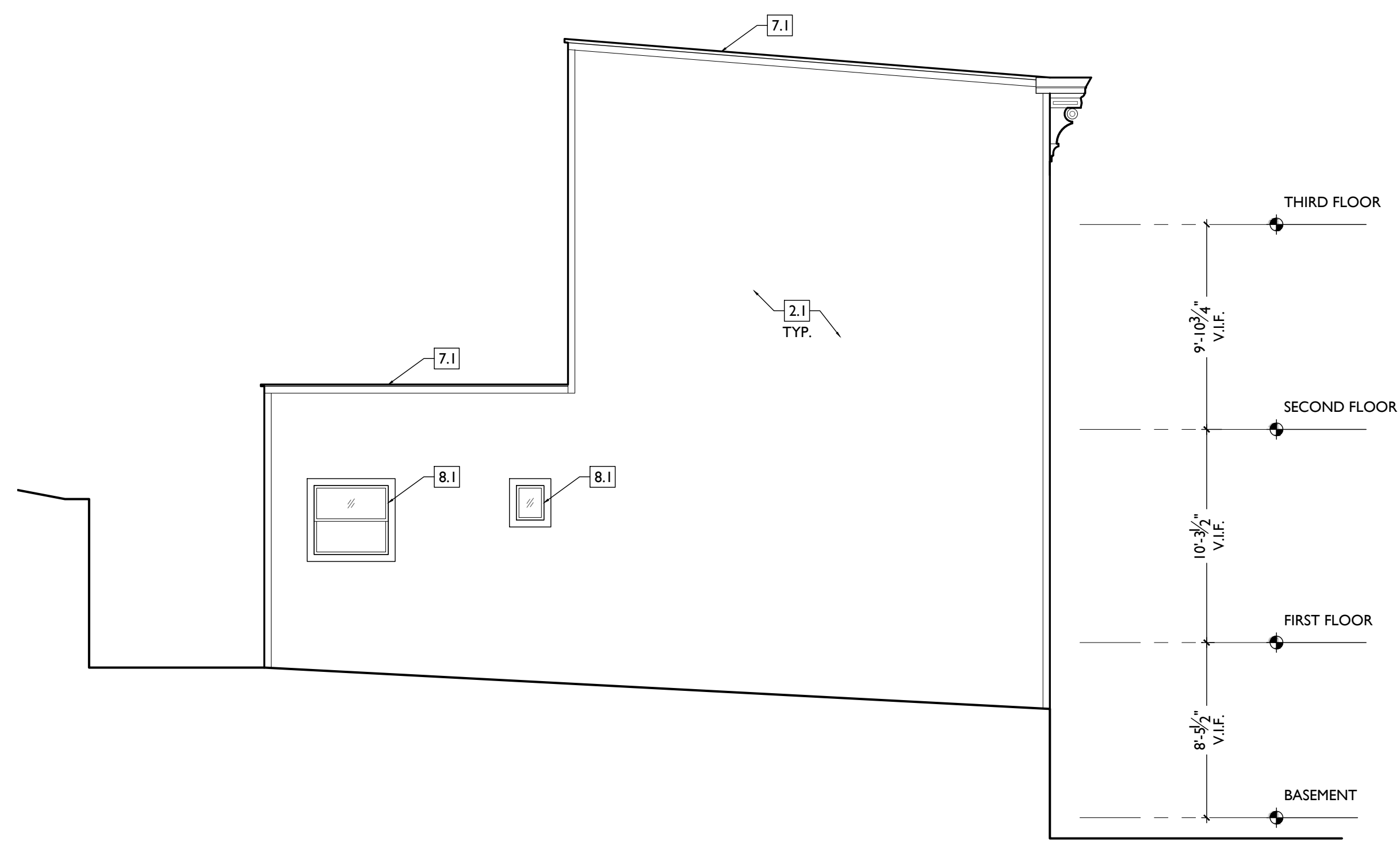
Revisions

PROPOSED PROJECT:
THE PORT
SEDAMSVILLE 2
654 STEINER AVE
CINCINNATI, OH 45204

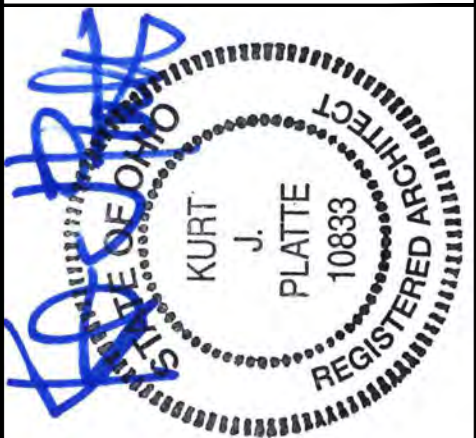
Job No: 25031 10.08.2025

RCPS

AI.22



PLANS GRAPHIC KEY:			
	PARTITION TYPE: SEE SHEET A0.01		DENOTES CEILING HEIGHT
	KEYNOTE		STRUCTURAL/REPAIR WORK AT CEILING/FLOOR.
	EXISTING INTERIOR WALL		AREA OF MASONRY REPAIR/TUCKPOINTING
	NEW PARTITION WALL		AREA OF NEW CONCRETE SLAB
	OBJECT OVERHEAD		
SG	OPENING CONTAINS SAFETY GLAZING		
	ELEVATION TAG		
	NEW DOOR WIDTH AND SIZE (EXAMPLE 2'-8" X 6'-8")		
	EXG DOOR		EMERGENCY ESCAPE AND RESCUE WINDOW.
NEW WORK PLANS & ELEVATIONS GENERAL NOTES:			
A.	CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.		
B.	ALL DIMENSIONS TO NEW WALLS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.		
C.	ALL DIMENSIONS TO EXISTING WALLS ARE TO FACE OF FINISH.		
D.	ALL INTERIOR WALLS ARE 2X4 WITH 1/2" GYP BD EACH SIDE, UNLESS NOTED OTHERWISE.		
E.	PROVIDE MOISTURE/MOLD RESISTANT DRYWALL WITHIN 6' HORIZONTALLY FROM ALL SOURCES OF WATER, SUCH AS SINKS, WATER HEATERS, ETC.		
F.	PROVIDE BLOCKING IN WALLS FOR ALL SHELVING, CABINETS, ETC.		
G.	WHERE ITEMS ARE NOT DIMENSIONED BUT CLEARLY INTENDED TO BE CENTERED ON A SPACE OR ALIGNED WITH ANOTHER ELEMENT, TAKE CARE TO CENTER/ALIGN. CONTACT ARCHITECT FOR ADDITIONAL INFORMATION AS REQUIRED. DO NOT SCALE PLANS.		
H.	NEW DOORS TO BE 4" MIN FROM WALL		
I.	NEW INTERIOR DOORS TO BE 2 PANEL, HOLLOW CORE.		
J.	INSTALL NEW PAINT GRADE TRIM AT DOORS, WINDOWS AND FLOORS, WHERE HISTORIC TRIM IS NOT PRESENT.		
K.	SEE A4.00 DRAWINGS FOR FINISH, EQUIPMENT, AND PLUMBING SCHEDULES.		
L.	NEW INSULATION AT ROOF/UNINHABITABLE ATTIC SPACES. INSULATION VALUES PER THE ORC. TYPICAL UNLESS NOTED OTHERWISE.		
M.	MECHANICAL, ELECTRICAL, PLUMBING - REFER TO DESIGN BUILD DRAWINGS.		
N.	-AVOID OUTLETS AND SWITCHES IN FEATURE WALLS		
O.	-OWNER TO REVIEW POWER PLANS FOR SWITCHING AND OUTLET LOCATIONS		
P.	-OUTLET AND SWITCH COLORS TO MATCH WALL		
NEW WORK # KEYED NOTES:			
KEYED NOTES			
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3. CONCRETE			
3.1. REPAIR CONCRETE STEPS			
3.2. NEW 4" CONCRETE SLAB OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER GRAVEL FILL.			
3.3. NEW CONCRETE STEPS.			
3.4. NEW 8"x8" CONCRETE PIERS, SEE DETAIL 3 ON SHEET A3.11			
4. MASONRY			
4.1. TUCKPOINT & PARGE EXTERIOR OF FOUNDATION WALL IN THIS AREA.			
4.2. TUCKPOINT INTERIOR STONE WALL.			
5. METALS			
5.1. NEW METAL HANDRAIL 36" A.F.F. TO MEET TYPE I OR TYPE II GRASPABILITY PER THE O.R.C.			
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8.4. EXISTING EXTERIOR DOOR TO REMAIN, REPAIR HALF-LITE AND TRANSOM ABOVE.			
9. FINISHES			
9.1. NOT USED.			
10. SPECIALTIES			
10.1. CLOSET SHELF AND ROD PER FINISH SCHEDULE. PROVIDE BLOCKING, TYP.			
10.2. NOT USED.			
21. FIRE SUPPRESSION			
21.1. NOT USED.			
22. PLUMBING			
22.1. NEW 50 GAL WATER HEATER. COORDINATE WITH ELECTRIC CONTRACTOR.			
22.2. PROVIDE NEW FROST PROOF HOSE BIB.			
22.3. PROVIDE HOOKUPS FOR WASHER AND DRYER			
23. HEATING, VENTILATING, AND AIR CONDITIONING			
23.1. HEAT PUMP WITH AIR HANDLER.			



KURT J. PLATTE 10833
Exp. Date: 12.31.2025

Design Team: BR, RO, CH

Progress Dates
2025.10.08 - PERMIT

Revisions

PROPOSED PROJECT:
**THE PORT
SEDAMSVILLE**
654 STEINER AVE
CINCINNATI, OH 452

Job No: 25031 10.08.2025

ELEVATIONS

A2.11



KURT J. PLATTE 10833
Exp. Date: 12.31.2025

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2025.10.08 - PERMIT

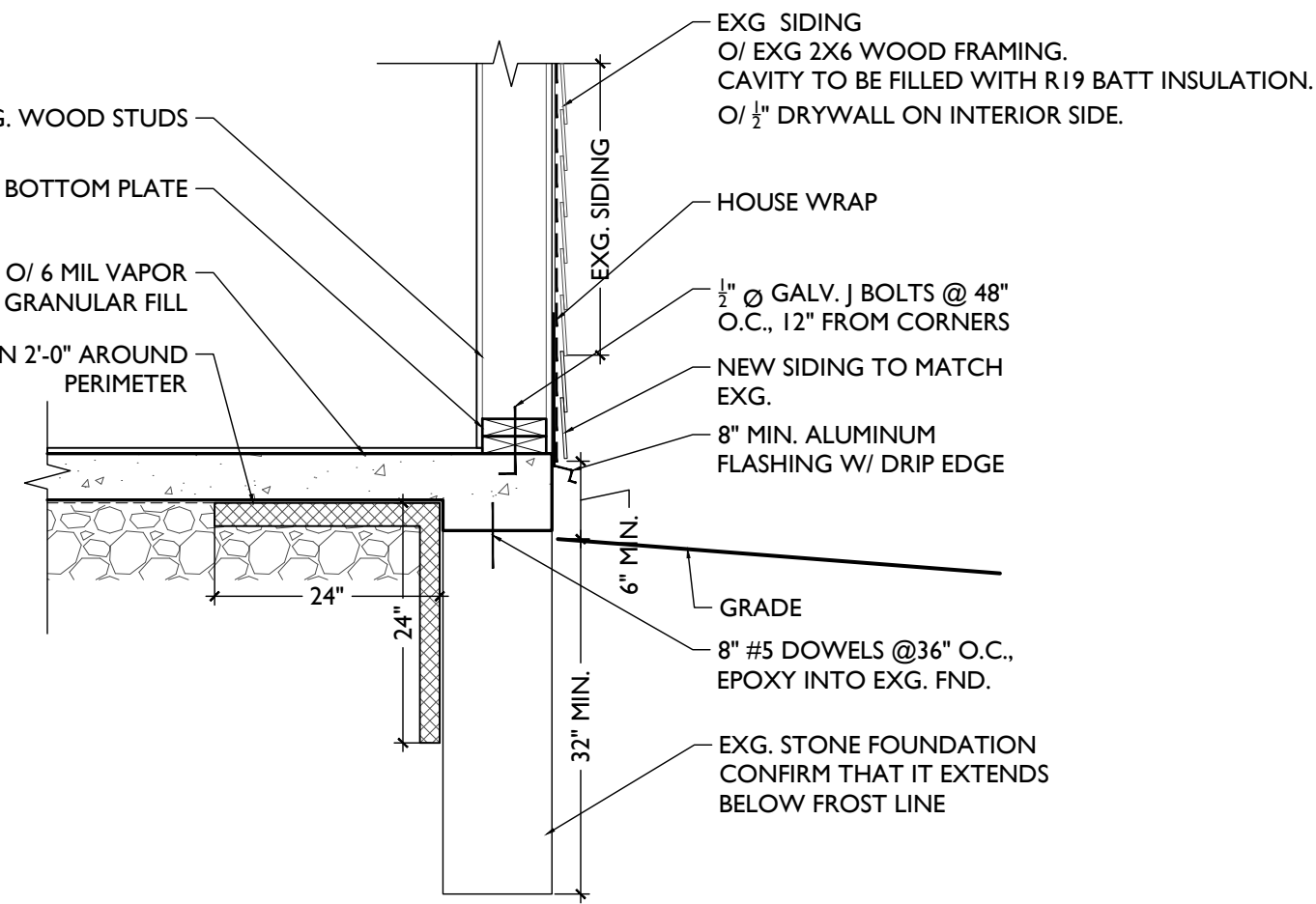
Revisions
2025-11-06 - PERMIT REV 2

PROPOSED PROJECT:
**THE PORT
SEDAMSVILLE 2**
654 STEINER AVE
CINCINNATI, OH 45204

Job No: 25031 11.06.2025

SECTIONS & DETAILS

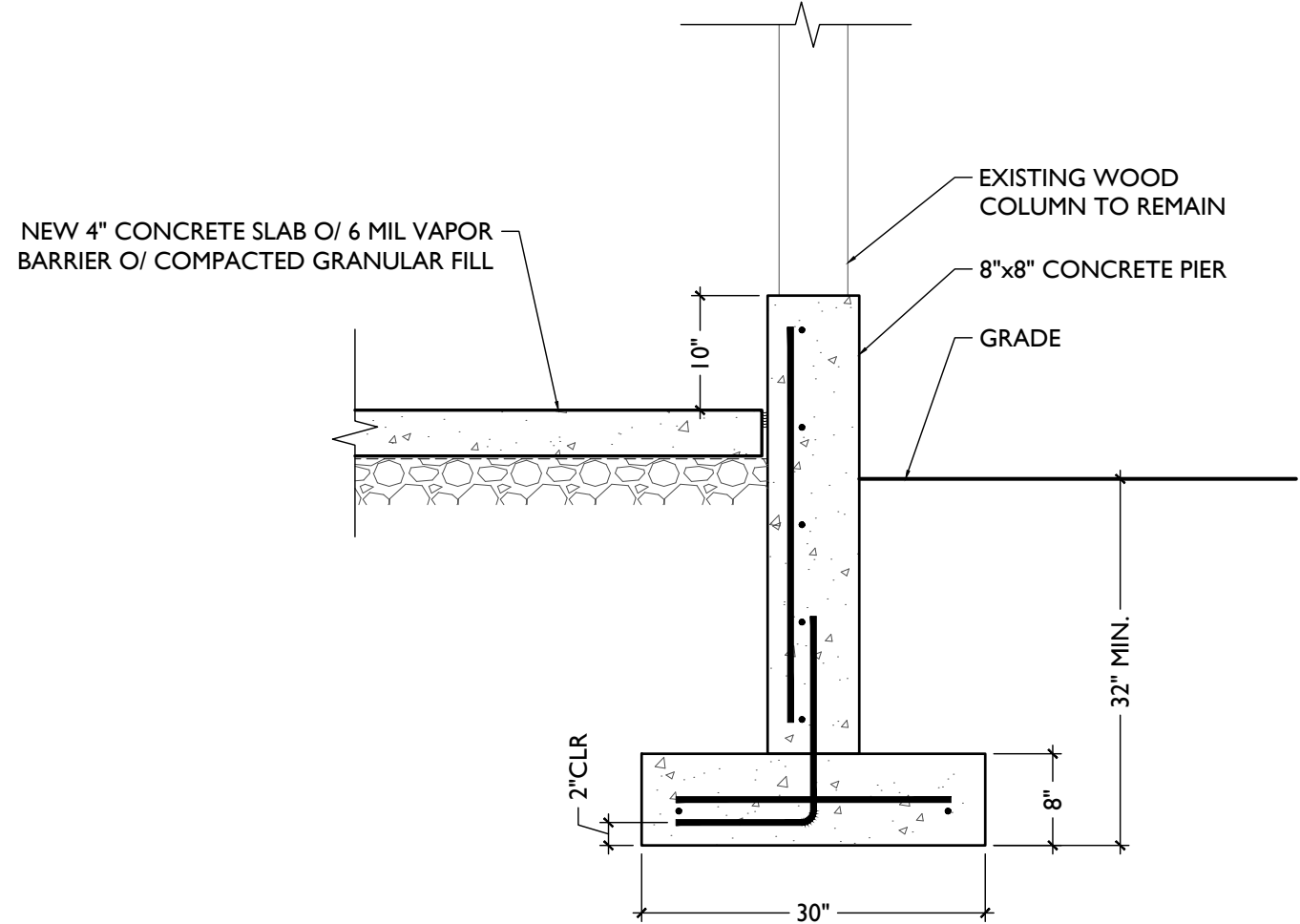
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SCALE: 3/4" = 1'-0"

NEW CONCRETE FLOOR DETAIL

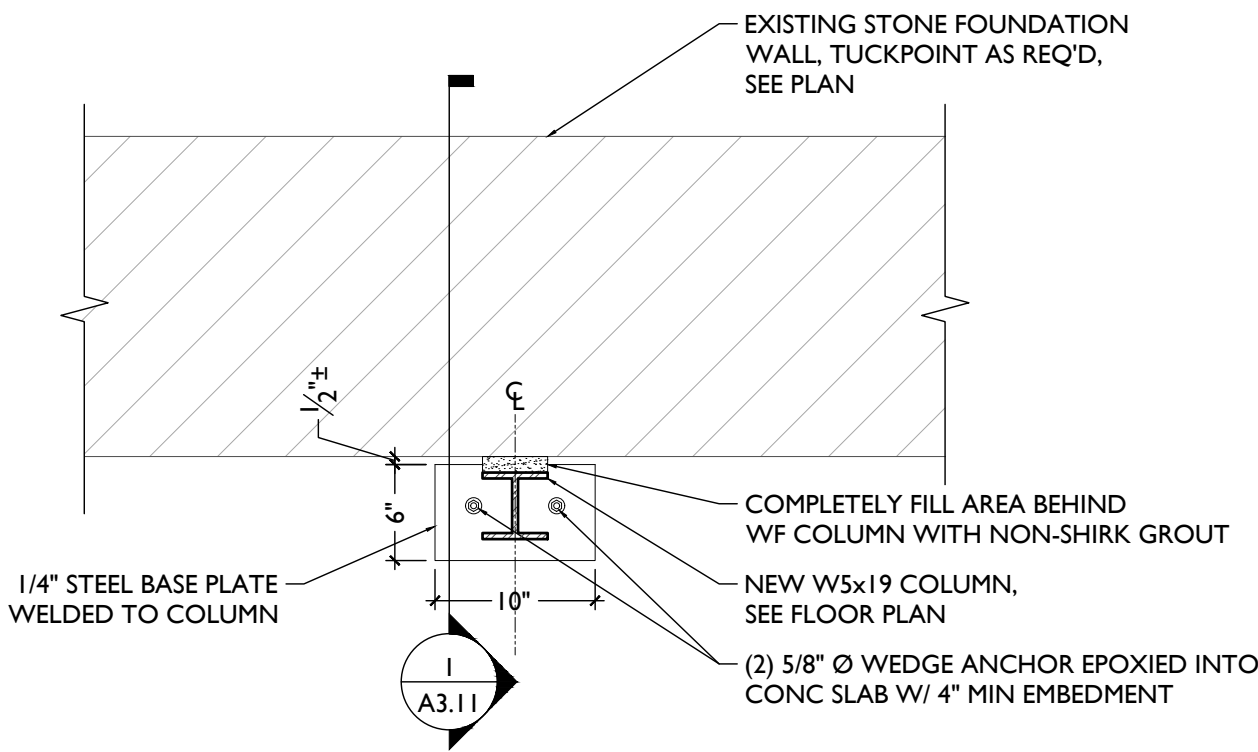
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SCALE: 3/4" = 1'-0"

PORCH SECTION DETAIL

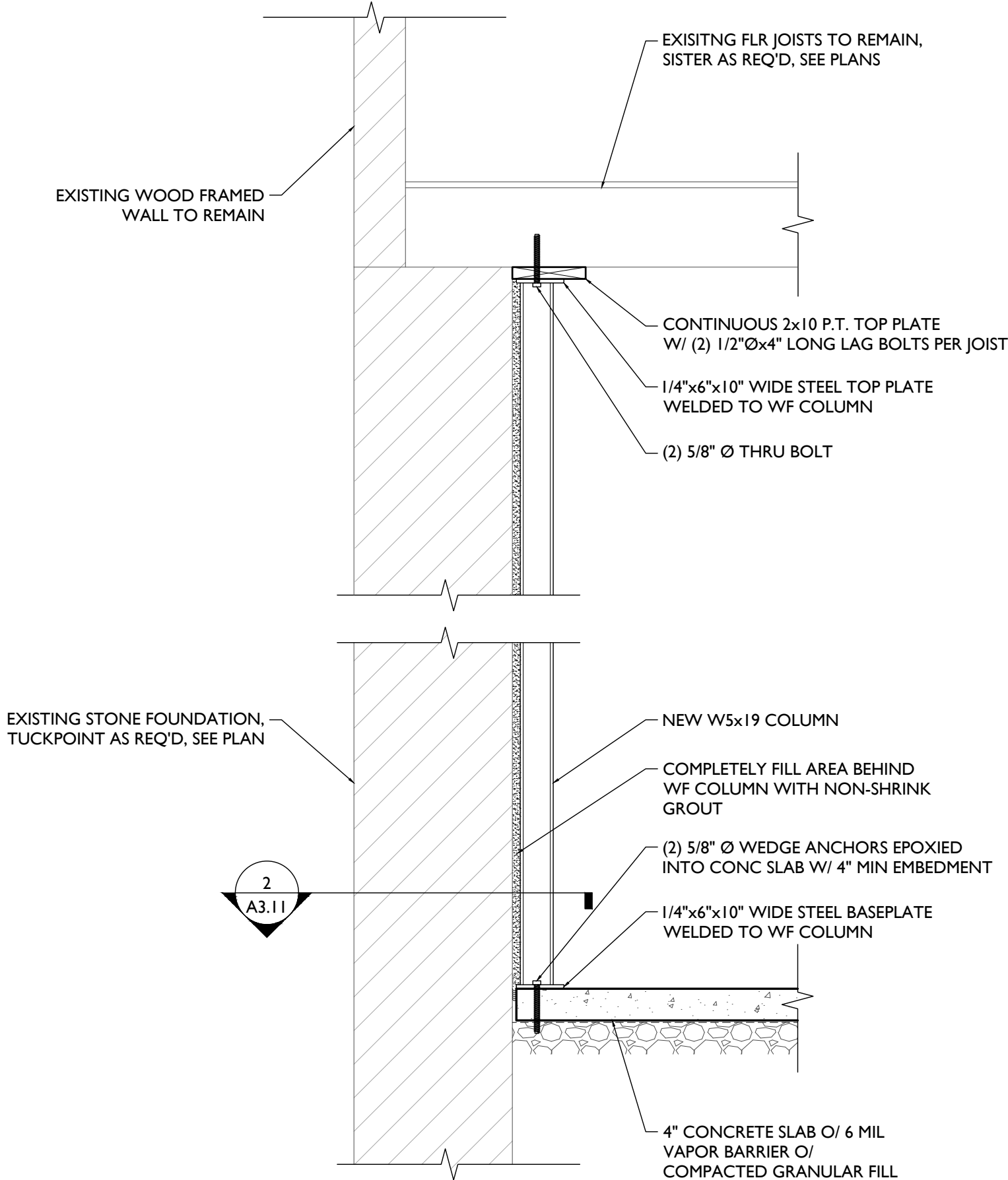
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SCALE: 1" = 1'-0"

FOUNDATION PLAN DETAIL

2



SCALE: 3/4" = 1'-0"

FOUNDATION SECTION DETAIL

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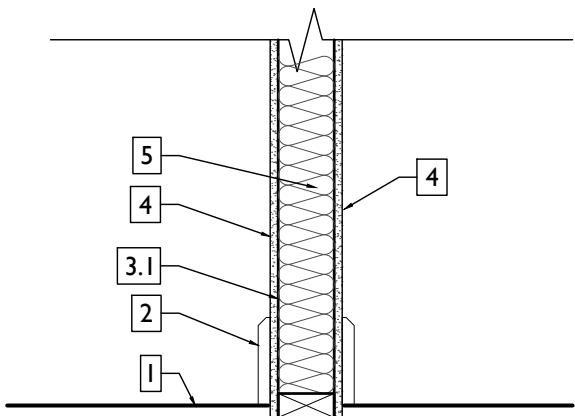
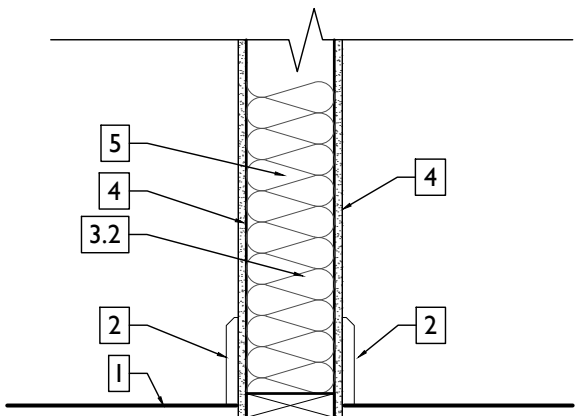
FINISH SCHEDULE					
CODE	TYPICAL LOCATION	FINISH TYPE	FINISH DESCRIPTION	NOTES	CONTACT
FLOORING					
FL-1	THROUGHOUT	LVP	MANU: AQUALOK LINE: WOODLAND COLOR: FAWN SIZE: 7"		
FL-2	STAIRS, BEDROOMS, CLOSET	CARPET	MANU: DREAM WEAVER LINE: COSMOPOLITAN COLOR: WYNWOOD		
FL-3	SEE PLANS	REFINISHED HARDWOOD	STAIN: MINWAX WALNUT MX439		
WALLS					
PT-1	GENERAL INTERIOR	PAINT	MANU: SHERWIN WILLIAMS COLOR: 7566 WESTHIGHLAND WHITE FINISH: EGGSHELL		
PT-2	INTERIOR TRIM	PAINT	MANU: SHERWIN WILLIAMS COLOR: 7566 WESTHIGHLAND WHITE FINISH: SEMI-GLOSS		
SOLID SURFACE					
SS-1	KITCHENS, BATHS	COUNTERTOP	MANU: LX HAUSYS LINE: VIATERA COLOR: ANTIQUE TAUPE		
CASEGOODS					
LAM-1	KITCHENS, BATHS	CABINETRY	MANU: KCD LINE: SHAKER COLOR: CLOVER	PLYWOOD BOX	

APPLIANCE SCHEDULE			
ITEM	MANUFACTURER & PRODUCT #	MOUNTING HEIGHT	NOTES
REFRIGERATOR	MANU: LG MODEL: LF21G6200S, 20.8 CU. FT. 3-DOOR FRENCH DOOR FINISH: STAINLESS		
OVER-THE-RANGE MICROWAVE	MANU: LG MODEL: LMV1764ST, 1.7 CU. FT. FINISH: STAINLESS	SEE INSTALLATION GUIDE	
OVEN RANGE	.25"MANU: LG MODEL: LREL6321S, 6.3 CU. FT. ELECTRIC RANGE FINISH: STAINLESS		
DISHWASHER	MANU: LG MODEL: LDFC2423, FRONT CONTROL DISHWASHER W/ SENSE CLEAN FINISH: STAINLESS		
NOTES: 1. T.B.D.			

PLUMBING SCHEDULE			
LOCATION	ITEM	MANUFACTURER & PRODUCT #	NOTES
FIXTURES			
HALF BATH	WALL MOUNTED SINK	MANU: DURAVIT MODEL: ME BY STARCK SIZE: 17-3/4" FINISH: WHITE	1 FAUCET HOLE
BATH	VANITY SINK	MANU: AMERICAN STANDARD MODEL: STUDIO SIZE: 19" FINISH: WHITE	
BATH	FAUCET	MANU: MODEL: FINISH: BLACK	
KITCHEN	SINK	MANU: DAYTON MODEL: UNDERMOUNT DOUBLE BASIN SIZE: 33" FINISH: STAINLESS STEEL	
KITCHEN	FAUCET	MANU: MODEL: FINISH: BLACK	
BATH	TOILET	MANU: AMERICAN STANDARD MODEL: ELONGATED SEAT FINISH: WHITE	
BATH	TUB/SHOWER	MANU: AMERICAN STANDARD MODEL:	
BATH	SHOWER PAN	MANU: MODEL: SIZE:	

ACCESSORIES SCHEDULE			
ITEM	MANUFACTURER & PRODUCT #	MOUNTING HEIGHT	NOTES
ADDRESS NUMBER	MANU: EVERBILT SIZE: 5 1/2" FINISH: BLACK PLASTIC		
MAILBOX	MANU: ARCHITECTURAL MAILBOXES FINISH: BLACK, WITH LOCK		
HALF BATH ACCESSORIES	MANU: MOEN MODEL: BANBURY 3-PIECE SET W/ 24" TOWEL BAR, TOILET PAPER HOLDER, TOWEL RING FINISH: MATTE BLACK		
FULL BATH ACCESSORIES	MANU: ATKING MODEL: 5-PIECE SET W/ TOWEL BAR, TOILET PAPER HOLDER, TOWEL HOOK FINISH: MATTE BLACK		
HALF BATH VANITY MIRROR	MANU: KOONMI SIZE: 20 X 30 FINISH: BLACK		
FULL BATH VANITY MIRROR	MANU: KOONMI SIZE: 26 X 38 FINISH: BLACK		
NOTES: PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES AND ACCESSORIES			

INSULATION SCHEDULE			
LOCATION	TYPE	R-VALUE	NOTES
TYPICAL WALLS	SOUND ATTENUATION BATT	-	FILL STUD CAVITY
BATHROOM WALLS	SOUND ATTENUATION BATT	-	FILL STUD CAVITY
PLUMBING CHASE	FIBERGLASS BATTS STAPLED TO STUDS	R-13 MIN.	CONTINUOUS PIPE INSULATION AT ALL PLUMBING LINES

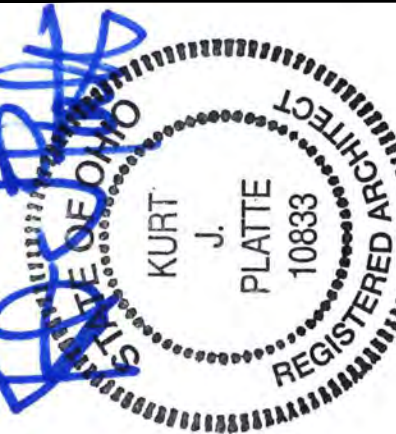
			
TYPICAL INTERIOR PARTITION WALL	I	TYPICAL INTERIOR PARTITION WALL	2
N/A GYP/UL #	NON RATED RATING	N/A GYP/UL #	NON RATED RATING
NOTES: -PROVIDE PT. SILL PLATE IN BASEMENT		NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE. -PROVIDE PT. SILL PLATE IN BASEMENT	

WALL ASSEMBLIES/ PARTITION TYPES
KEYED NOTES: 1. FINISHED FLOOR -SEE FINISH SCHEDULE 2. WALL BASE 3. WOOD WALL FRAMING 3.1. 2x4 WALL FRAMING @ 16" O.C. 3.2. 2x6 WALL FRAMING @ 16" O.C. 4. 1/2" GYPSUM BOARD 5. INSULATION PER SCHEDULE

SCHEDULES

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PLATTE
ARCHITECTURE
+ DESIGN
1810 CAMPBELL STREET
SUITE 300
CINCINNATI, OH 45202
513.871.1850
www.plattedesign.com



KURT J. PLATTE 10833
Exp. Date: 12.31.2025

Design Team: BR, RO, CH

Progress Dates
2025.10.08 - PERMIT

Revisions

PROPOSED PROJECT:
THE PORT
SEDAMSVILLE 2
654 STEINER AVE
CINCINNATI, OH 45204

Job No: 25031 10.08.2025

FINISH SCHEDULES

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SCALE: 3/16" = 1'-0"

ELEVATIONS- FRONT

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EXTERIOR PAINT			
EXT-1	GENERAL	PAINT	MANU: SHERWIN WILLIAMS COLOR: 0076 APPLEBLOSSOM FINISH: SEMI-GLOSS
EXT-2	ACCENT	PAINT	MANU: SHERWIN WILLIAMS COLOR: 6592 GRENADINE FINISH: SEMI-GLOSS
EXT-3	ACCENT	PAINT	MANU: SHERWIN WILLIAMS COLOR: 0005 DEEPEST MAUVE FINISH: SEMI-GLOSS

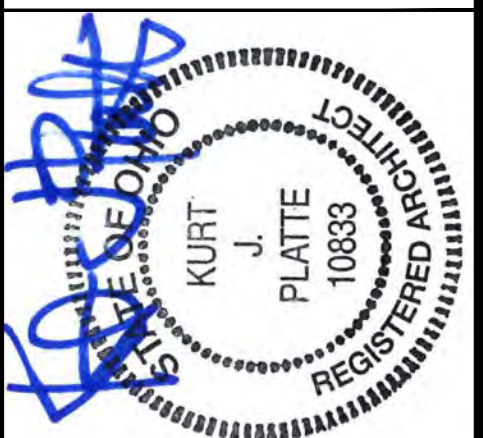
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RENDER ELEVATIONS

A5.01