SEDAMSVILLE 2 RESIDENTIAL RENOVATIONS

ARCHITECT

PLATTE ARCHITECTURE + DESIGN 1810 CAMPBELL ALLEY, SUITE 300 CINCINNATI, OH 45202 (513) 871-1850

654 STEINER AVENUE CINCINNATI, OH 45204

PROPOSED RENOVATION: 654 STEINER AVENUE

CINCINNATI. OHIO COUNTY: HAMILTON

CITY OF CINCINNATI BLDG. DEPT. JURISDICTION: CITY OF CINCINNATI

PROJECT DESCRIPTION: **RENOVATION OF SINGLE-FAMILY** RESIDENCE.

CINCINNATI OHIO ZONING CODE ZONING DISTRICT

PRIMARY STRUCTURE **BUILDING SETBACKS (RMX)** FRONT YARD SETBACK SIDEYARD SETBACK (MIN./ TOTAL) 0/5'

REAR YARD SETBACK THE EXISTING BUILDING EXCEEDS THE SETBACK REGULATIONS. NO CHANGE TO THE EXISTING.

CHAPTER 1409-25 LOCATION OF PARKING PARKING WILL BE EXISTING STREET PARKING

CHAPTER 1421-07 BUILDING PROJECTIONS **UNCOVERED STAIRWAYS AND NECESSARY LANDINGS NOT EXTENDING** ABV. BUILDING ENTRANCE FLR. MAY PROJECT 4.5' INTO SIDE YARD SET

GOVERNING CODE:

2019 RESIDENTIAL CODE OF OHIO (R.C.O.)

CODE NOTES:

SECTION 303: LIGHT, VENTILATION, AND HEATING NATURAL LIGHT AND VENTILATION PROVIDED THROUGH OPERABLE DOORS AND WINDOWS.

ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION SYSTEM WILL BE PROVIDED IN IN ALL NEW BATHROOMS AND SHALL BE IN FULL COMPLIANCE WITH RCO 303.3. ALL OTHER BATHROOMS ARE EXISTING TO REMAIN.

SECTION 304: MINIMUM ROOM AREAS

HABITABLE ROOMS ARE NOT LESS THAN 70 SQUARE FEET OR LESS THAN 7 FEET IN ANY HORIZONTAL

SECTION 308: GLAZING 308.1: IDENTIFICATION

CONTRACTOR IS TO PROVIDE SAFETY GLAZING AT ALL LOCATIONS REQUIRED PER R.C.O.

308.4. SEE NOTES IN SECTION DRAWINGS AND INTERIOR ELEVATIONS, AS WELL AS **SG** TAG IN PLANS.

SECTION 310: EMERGENCY ESCAPE AND RESCUE OPENINGS

MINIMUM NET CLEARANCE OF 5.7 SQUARE FEET. MINIMUM NET CLEARANCE OPENING HEIGHT SHOULD BE 24 INCHES. MINIMUM NET CLEARANCE WIDTH SHOULD BE 20 INCHES, THE MAXIMUM BOTTOM HEIGHT OF THE FLOOR OPENING SHOULD BE 44 INCHES.

311.7.7: STAIR TREADS AND RISERS

RISER HEIGHTS SHALL NOT BE MORE THAN 8 1/4" AND TREAD DEPTH SHALL NOT BE LESS THAN 9"

SECTION 314: SMOKE ALARMS

314.1: SMOKE DETECTION AND NOTIFICATION

CONTRACTOR IS TO PROVIDE THE FOLLOWING SMOKE ALARMS: I. IN EACH SLEEPING ROOM, PROVIDE IONIZATION-TYPE SMOKE ALARM

2. OUTSIDE, IMMEDIATELY ADJACENT TO EACH SLEEPING ROOM, PROVIDE COMBINATION

PHOTOELECTRIC SMOKE ALARM / CARBON MONOXIDE DETECTOR. 3. BOTH PHOTOELECTRIC & IONIZATION IN EACH ADDITIONAL STORY NOT CONTAINING SLEEPING

ROOMS, INCLUDING BASEMENTS AND HABITABLE ATTICS 314.4: POWER SOURCE

ALL SMOKE ALARMS ARE TO BE HARD-WIRED WITH A BATTERY BACK-UP & ARE TO BE INTERCONNECTED

SECTION 806: ROOF VENTILATION

ROOF VENTILATION PROVIDED PER THE REQUIREMENTS OF THIS SECTION.

CHAPTER II - ENERGY EFFICIENCY

1101.2: COMPLIANCE PATHS

THE NEW CONDITIONED SPACES WILL FOLLOW THE RESIDENTIAL BUILDING CODE ENERGY COMPLIANCE AND THE BUILDING THERMAL ENVELOPE WILL MEET THE INSULATION AND FENESTRATION REQUIREMENTS AS INDICATED IN TABLE 1102.1.2 OR THE EQUIVALENT U FACTORS IN TABLE 1102.1.4

CODE NOTES

SECTIONS 1101-1104

TABLE 1102.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT CLIMATE ZONE 4

AREA ON BUILDING PRESCRIPTIVE VALUE

FENESTRATION U-FACTOR 0.32 max. SKYLIGHT U-FACTOR 0.55 max. GLAZED FENESTRATION SHGC

CEILING R-VALUE 49, 30 AT CATHEDRAL min. WOOD FRAME WALL R-VALUE

MASS WALL R-VALUE 5 / 10 min. IF >50% INS. ON INTR. FLOOR R-VALUE 19 min.

10 CONTIN. / 13 CAVITY min. BASEMENT WALL R-VALUE

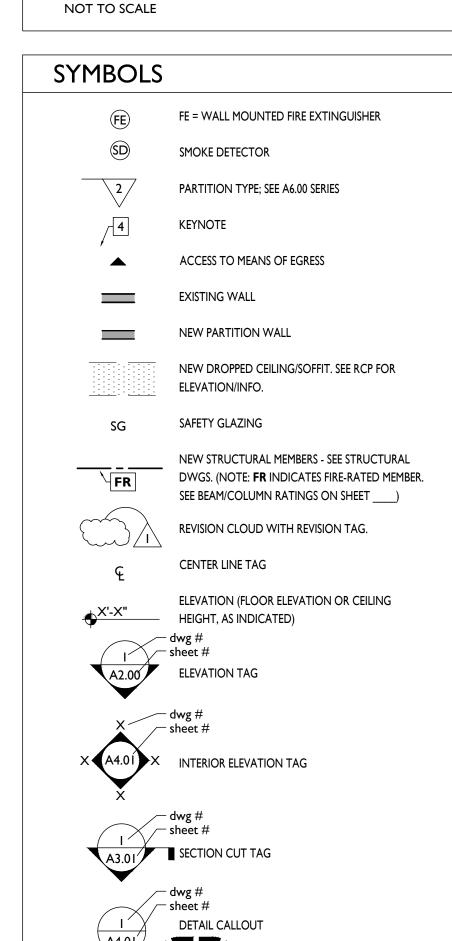
SLAB R-VALUE AND DEPTH 10, 2 FT min.

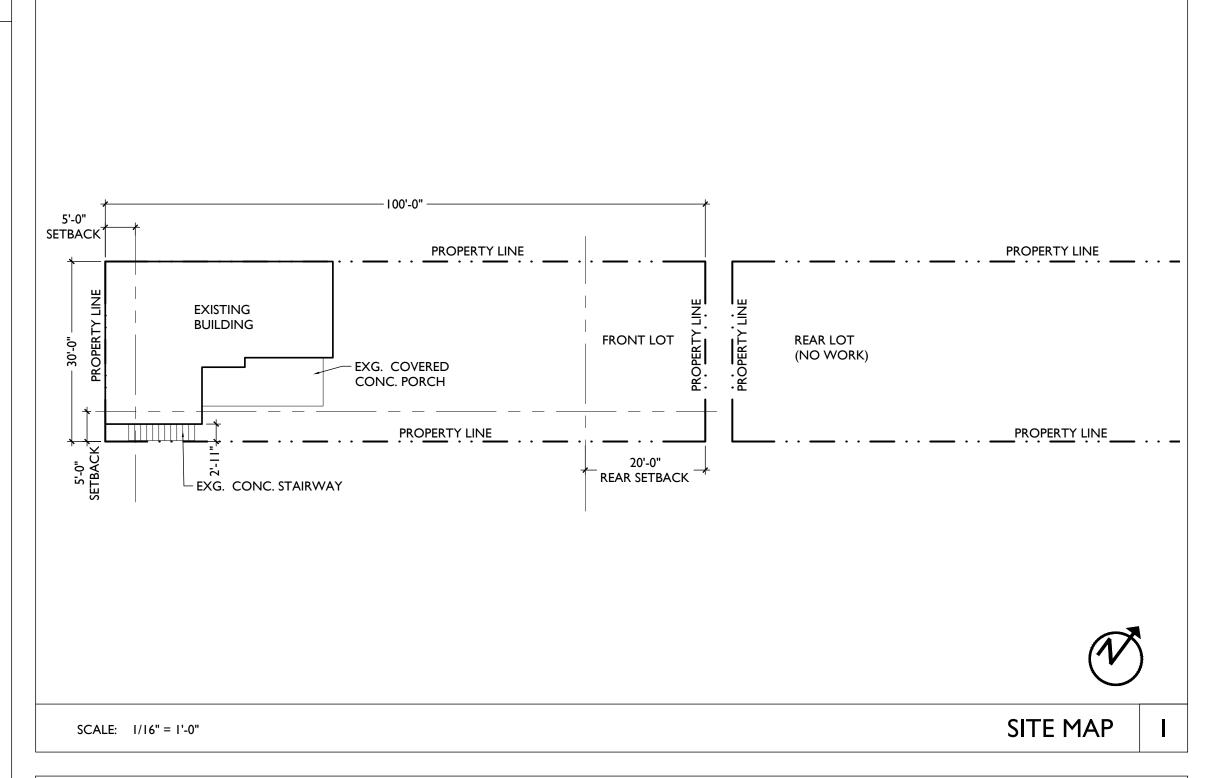
CRAWL SPACE WALL R-VALUE 10 CONTIN. / 13 CAVITY min.

PROJECT LOCATION

VICINITY MAP

SHEET LIST **ARCHITECTURAL GENERAL NOTES** OVERALL SITE PLAN **EXISTING & DEMOLITION PLANS - BASEMENT & FIRST FLOOR** EXISTING & DEMOLITION PLANS - SECOND FLOOR & ATTIC **EXISTING & DEMOLITION PLANS - ROOF EXISTING & DEMOLITION ELEVATIONS** PROPOSED PLANS - BASEMENT & FIRST FLOOR PROPOSED PLANS - SECOND FLOOR & ATTIC PROPOSED PLANS - ROOF REFLECTED CEILING PLANS - BASEMENT & FIRST FLOOR REFLECTED CEILING PLANS - SECOND FLOOR & ATTIC PROPOSED ELEVATIONS SECTIONS & DETAILS SCHEDULES RENDERED ELEVATION





ADJ	ADJACENT	DIAG	DIAGONAL	FDN	FOUNDATION	MEP	MECHANICAL, ELECTRIC	REV	REVISED/REVISION
A.F.F.	ABOVE FINISH FLOOR	DIA or Ø	DIAMETER	F.E.	FIRE EXTINGUISHER		& PLUMBING	R.O.	ROUGH OPENING
ALT	ALTERNATE	DIM(S)	DIMENSION(S)	F.F.E.	FINISH FLOOR ELEVATION	MIN	MINIMUM	R.O.W.	RIGHT OF WAY
ALUM	ALUMINUM	D.O.T.E.	DEPARTMENT OF	FLR	FLOOR	MAX	MAXIMUM	SECT	SECTION
APPROX	APPROXIMATELY		TRANSPORTATION &	FTG	FOOTING	MANUF	MANUFACTURER	SIM	SIMILAR
APT	APARTMENT		ENGINEERING	G.C.	GENERAL CONTRACTOR	N/A	NOT APPLICABLE	SF	SQUARE FEET
BD	BOARD	D.L.	DEAD LOAD	GYP	GYPSUM	N.I.C.	NOT IN CONTRACT	SPEC	SPECIFICATION
BLDG	BUILDING	D.S.	DOWNSPOUT	H.M.	HOLLOW METAL	N.I.S.	NOT IN SCOPE	STRUCT	STRUCTURAL
C.L.	CENTER LINE	DTL(S)	DETAIL(S)	HR	HOUR	N.T.S.	NOT TO SCALE	T.O. or T/	
C.J.	CONTROL JOINT	DWG(S)	DRAWING(S)	HORIZ	HORIZONTAL	OBC	OHIO BUILDING CODE	T&G	TONGUE & GROOVE
CLG	CEILING	EA	EACH	HVAC	HEATING, VENTILATION,	O.C.	ON CENTER	TYP	TYPICAL
CLR	CLEAR DIMENSION	ELEC	ELECTRICAL		& AIR CONDITIONING	OPNG	OPENING	U.N.O.	UNLESS NOTED
C.M.U.	CONCRETE MASONRY	ELEV(S)	ELEVATION(S)	INCL	INCLUDED/ INCLUDING	OPP	OPPOSITE		OTHERWISE
	UNIT	E.J.	EXPANSION JOINT	INFO	INFORMATION	0/	OVER	V.B.	VAPOR BARRIER
COL.	COLUMN	EQ	EQUAL	INSUL	INSULATED/ INSULATING	PLWD	PLYWOOD	VERT	VERTICAL
CONC	CONCRETE	EXG	EXISTING	INT	INTERIOR	PLUMB	PLUMBING	V.I.F. or ±	
CONT	CONTINUOUS/	EXT	EXTERIOR	L.L.	LIVE LOAD	PT.	PRESSURE TREATED	W/	WITH
	CONTINUED	FDC	FIRE DEPARTMENT	MATL	MATERIAL	RCP	REFLECTED CEILING PLAN	W/O	WITHOUT
CONTR	CONTRACTOR		CONNECTION	MECH	MECHANICAL	REQ	REQUIRED	WD	WOOD

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DESIGN

PLATTE

ARCHITECTURE

KURT J. PLATTE 10833 Exp. Date: 12.31.2025

Design Team: BR, RO, CH Progress Dates 2025.10.08 - PERMIT

Revisions

Job No: 25031

COVER SHEET

2. EACH CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS, SCOPE OF WORK, AND ALL

CONTRACT DOCUMENTS. ALL BIDS SUBMITTED TO THE CONTRACTOR SHALL BE BASED ON A THOROUGH KNOWLEDGE OF ALL OF THE WORK, INCLUDING BOTH MATERIALS AND LABOR. ANY DISCREPANCY OR UNCERTAINTY REGARDING THE WORK SHOULD BE VERIFIED WITH THE CONTRACTOR OR ARCHITECT PRIOR TO THE SUBMISSION OF A BID

3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PROGRAMS, PRECAUTIONS AND COORDINATION FOR ALL PORTIONS OF THE WORK. THE CONTRACTOR SHALL COOPERATE WITH THE OWNER IN SCHEDULING AND PERFORMING THE CONTRACTOR'S WORK TO AVOID CONFLICT, DELAYS OR INTERFERENCE WITH THE OWNER OR THE WORK OF OTHER CONTRACTORS.

4. EACH CONTRACTOR SHALL SUPERVISE THE WORK DURING PROGRESS. HE OR SHE SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL AND O.S.H.A. REGULATIONS.

5. CONTRACTORS TO STORE MATERIAL AS COORDINATED WITH OWNER.

6. CONTRACTOR AND ALL SUBCONTRACTORS SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIAL, TOOLS, CONSTRUCTION EQUIPMENT AND SURPLUS MATERIAL SHALL BE REMOVED FROM THE SITE PRIOR TO SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE.

7. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES, ORDINANCES AND SAFETY REGULATIONS HAVING AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY THE RESPECTIVE TRADES, ACCORDING TO THEIR RESPECTIVE FIELD'S LATEST STANDARDS, INCLUDING THE FOLLOWING AND ALL REFERENCED STANDARDS IN THE RESIDENTIAL CODE OF OHIO (RCO) CURRENT EDITION:

- ACI 318-95 - BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
 - ACI 301 - LATEST EDITION - SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
 - ACI 530/ASCE 5/TMS 402-95 (LATEST REVISION) - BUILDING CODES REQUIREMENTS FOR CONCRETE

- N.Fo.P.A. - LATEST EDITION - NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - AISC 1992, ASD-89, LRFD-93 - DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL

8. SHOULD A DISCREPANCY BE DETERMINED BETWEEN THE CONTRACT DOCUMENTS AND CODE REQUIREMENTS, IT SHALL IMMEDIATELY BE BROUGHT THE THE ATTENTION OF THE ARCHITECT SO THAT THE ISSUE MAY BE RESOLVED BEFORE WORK IS COMMENCED.

9. ANY CONTRACTOR OF SUBCONTRACTOR WHO PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO APPLICABLE LAWS, ORDINANCES OR REGULATION, AND WITHOUT WRITTEN NOTICE TO THE ARCHITECT SHALL ASSUME FULL RESPONSIBILITY AND SHALL BEAR ALL ATTRIBUTABLE COSTS.

10. THERE SHALL BE NO DEVIATION FROM THE ARCHITECT'S AND/OR ENGINEER'S SPECIFICATION WITHOUT A WRITTEN REVIEW BY THE ARCHITECT AND ENGINEER.

II. CONTRACTORS SHALL GIVE ALL NOTICES, FILE ALL PAPERWORK, AND SECURE AND PAY FOR ALL PERMITS, FEES AND INSPECTIONS RELATED TO THE RESPECTIVE WORK.

12. GUARANTEES SHALL BE REQUIRED OF ALL BRANCHES OF THE WORK. CONTRACTORS TO REMEDY ANY DEFECTS IN THEIR WORK AND PAY FOR ANY RESULTANT DAMAGES TO OTHER WORK FOR A PERIOD OF ONE YEAR FORM THE DATE OF FINAL ACCEPTANCE.

13. THE ARCHITECT IS IN NO WAY RESPONSIBLE FOR INSPECTION OF FIELD INSTALLATION, NOR QUALITY OF THE CONSTRUCTION UNLESS SPECIFICALLY DIRECTED AND CONTRACTED BY THE OWNER.

14. DRAWINGS AND SPECIFICATIONS ARE TO BE SEEN AS COMPLEMENTARY. WHERE DISCREPANCIES DO EXIST, THE CONTRACTOR MAY BE REQUIRED TO TAKE THE MORE STRINGENT, DIFFICULT AND/OR EXPENSIVE APPROACH REQUIRED BY THE DOCUMENTS.

15. THESE DRAWINGS DO NOT CONTAIN COMPLETE CONSTRUCTION DOCUMENTATION OR SPECIFICATIONS FOR SITE WORK, LANDSCAPING, MECHANICAL, PLUMBING OR ELECTRICAL PHASES OF THE WORK. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLETING CONSTRUCTION DOCUMENTS AND SPECIFICATIONS FOR THEIR RESPECTIVE PORTION OF THE WORK. ALSO, SEE NOTES FOR EACH OF THESE SECTIONS.

16. THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATION AS TO PRODUCT QUALITY, WARRANTY OR FINISH. ADDITION INFORMATION SHALL BE OBTAINED FROM THE OWNER.

17. DESIGN LOADS

FLOOR - LIVING 50 PSF (40 PSF LIVE / 10 PSF DEAD) ROOF - (SLOPE > 3:12)35 PSF (15 PSF DEAD / 20 PSF SNOW) ROOF - (SLOPE </= 3:12) 40 PSF (15 PSF DEAD / 25 PSF SNOW) ATTIC - LIMITED STORAGE 30 PSF (20 PSF LIVE / 10 PSF DEAD) ATTIC - NO STORAGE 20 PSF (10 PSF LIVE / 10 PSF DEAD) 50 PSF (40 PSF LIVE / 10 PSF DEAD) GUARDRAILS AND HANDRAILS 200 PSF (ALONG TOP) GUARDRAIL INFILL COMPONENTS 50 PSF FOOTING SOIL BEARING PRESSURE 1500 PSF

18. EXTERIOR PLAN DIMENSIONS ARE TO FACE OF FOUNDATION WALLS. INTERIOR DIMENSIONS ARE TO FACE OF STUD FRAMING. INTERIOR PARTITIONS ARE $3\frac{1}{2}$ " THICK UNLESS OTHERWISE NOTED.

19. ALL STAIRWAYS ARE TO HAVE A MINIMUM WIDTH OF 36", A MAXIMUM RISER HEIGHT OF 8\(^4\)" AND A MINIMUM TREAD WIDTH OF 9" EXCLUSIVE OF THE NOSING. RISER HEIGHT WITHIN ONE FLIGHT OF STAIRS IS NOT TO VARY MORE THAN \(^3\)\". EACH STAIR HAVING FOUR OR MORE RISERS, MUST HAVE A HANDRAIL ON AT LEAST ONE SIDE LOCATED BETWEEN 30" AND 34" ABOVE THE TREAD NOSING, PROJECTING NOT MORE THAN \(^3\)\"! INTO THE STAIR WIDTH. A SPACE OF NO GREATER THAN 4" SHALL EXIST BETWEEN BALUSTERS AT OPEN STAIR HANDRAILS. MINIMUM ALLOWABLE HEADROOM IN ANY STAIR IS 6'-8".

18 PSF OR 90 MPH

20. ATTIC ACCESS PANELS SHALL BE A MINIMUM OF 22"x30" AND LOCATED AS PER PLANS, OR MINIMUM OF ONE PER DISTINCT ATTIC AREA.

21. SOIL TREATMENT TO PASS A (5) YEAR TEST AS CONDUCTED BY THE U.S. FOREST SERVICE, U.S. DEPARTMENT OF AGRICULTURE AS REQUIRED BY CODE.

22. FIRE STOPPING WITH $\frac{3}{4}$ " PLYWOOD BACKUP AT JOINTS SHALL BE PROVIDED TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN ALL CONCEALED DRAFT OPENING, BOTH VERTICAL AND HORIZONTAL, PER 1428.0 OBBC. FIRESTOP AROUND ALL VENTS, PIPES, DUCTS AND CHIMNEYS.

23. TEMPERED SAFETY GLAZING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: ALL DOORS AND SIDELITES, SHOWER DOORS AND ENCLOSURES, GLAZING WINDOW PANELS HAVING A GLAZED AREA IN EXCESS OF (9)SQ. FT. WITH LOWEST EDGE LESS THAN 18" ABOVE THE FINISHED FLOOR, AND GLAZING WINDOW PANEL WITHIN 60" ABOVE A DRAIN IN ENCLOSING WALLS OF TUB OR SHOWER AREA. TEMPERED GLASS LABEL MUST BE ETCHED IN THE GLASS.

24. ALL BEDROOM WINDOWS TO HAVE MINIMUM 20" WIDE AND 24" HIGH CLEAR OPENING (5.7 SF CLEAR OPENING MINIMUM).

25. FIRE SEPARATION BETWEEN HOUSE AND GARAGE TO BE (I) LAYER OF $\frac{1}{2}$ " TYPE 'X' DRYWALL ON THE GARAGE SIDE OF ALL HOUSE COMMON WALLS AND CEILINGS. ALL DOORS IN THESE WALLS TO BE $1\frac{3}{4}$ " THICK SOLID CORE, SELF-CLOSING DOORS.

CONCRETE

26. CONCRETE SHALL CONFORM TO ACI 318. REINFORCING SHALL CONFORM TO ASTM SPECIFICATION A615, GRADE 40. CONCRETE REBAR COVER: FOOTINGS -3", WALLS -2".

27. CONCRETE TO BE fc=3000 psi, EXTERIOR SLAB CONCRETE TO BE fc=3500psi, GARAGE SLAB CONCRETE TO BE fc=4500psi (ALL WITHIN 28 DAYS), WITH AIR ENTRAINMENT OF 5% TO 7% WHERE EXPOSED TO WEATHER AND GARAGE SLABS. PROTECT ALL CONCRETE FROM FREEZING.

28. CONCRETE PIERS AT BASE OF P.T. POSTS FOR EXTERIOR DECKS TO BE 16" DIAMETER x 2'-6" (MIN.) BELOW FINISH GRADE. ATTACH P.T.POST TO PIERS WITH 'SIMPSON BP' POST BASES OR EQUIVALENT.

29. ALL CONTINUOUS FOOTINGS ARE TO BE 24"x8" WITH (2) #4 BARS CONTINUOUS AND FOOTING PAD ARE TO BE 30"x30"x12" WITH (4) #4 BARS EACH WAY, UNLESS OTHERWISE NOTED. FOOTINGS UNDER MASONRY FIREPLACES SHALL BE AT LEAST 12" THICK AND SHALL EXTEND AT LEAST 12" PAST THE FACE OF THE SUPPORT WALLS ON ALL FOUR SIDES. FOOTINGS ARE TO BEAR ON UNDISTURBED SOIL OF ENGINEERED FILL HAVING A MINIMUM BEARING PRESSURE OF 1500psf. BOTTOM OF FOOTING TO BE A MINIMUM 30" BELOW GRADE. REGARDLESS OF INDICATIONS ON PLAN DRAWINGS.

30. CONCRETE FRAMEWORK TO BE ADEQUATELY TIED AND BRACED. FORMS ARE NOT TO BE STRIPPED, NOR BACK FILL PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH OR HAS BEEN BRACED TO PREVENT DAMAGE BY THE

31. SILL PLATE TO BE ANCHOR WITH $\frac{1}{2}$ " DIAMETER BENT, THREADED ANCHOR BOLTS 32" O.C. AT BASEMENT FOUNDATION WALLS, AND 32" O.C. AT CRAWL SPACE FOUNDATION WALLS AND 36" O.C. AT GARAGE FDN. WALLS. BOLT ALL CORNERS AND EACH SIDE OF OPENINGS 8" MAX. FROM CORNERS.. BOLT TO HAVE AN 8" MINIMUM EMBEDMENT INTO CONCRETE. STRUCTURAL LUMBER EXPOSED TO THE EXTERIOR OR IN CONTACT WITH THE FOUNDATION TO BE PRESSURE TREATED. ALL FASTENERS TO BE GALVANIZED.

32. CONCRETE SLABS TO BE 4" THICK OVER 6" MINIMUM WASHED GRAVEL. EXPANSION SAW JOINTS NOT TO EXCEED 400sf MINIMUM FOR INTERIOR SLABS AND 600sf FOR EXTERIOR SLABS. SLOPE BASEMENT SLABS TO DRAINS. SLOPE GARAGE SLABS 1/8" PER FOOT MINIMUM TOWARD GARAGE DOORS.

MASONRY

33. BRICK VENEER (WHEN INDICATED ON PLANS) TO HAVE 22 GAUGE CORRUGATED, GALVANIZED STEEL WALL TIES (%"W x 6"L) AND SHALL BE SPACED 24" O.C. MAX HORIZONTALLY AND VERTICALLY. ADDITIONAL TIES SHALL BE PROVIDED AROUND WALL OPENINGS GREATER THAN 16" IN EITHER DIRECTION. METAL TIES AROUND THE PERIMETER OF OPENINGS SHALL NOT BE SPACED MORE THAN 36" O.C. AND PLACED WITHIN 12" OF THE OPENING. PROVIDE CONTINUOUS BASE FLASHING WITH WEEP HOLE AT 33" O.C. MAX. WEEP SHALL BE 36" DIAMETER MIN. AND LOCATED DIRECTLY ABOVE THE FLASHING. USE TYPE S MORTAR, NON-STAINING. PROVIDE FLASHING AT ALL OPENING HEADS AND SILLS AND AT ANY BRICK VENEER PENETRATIONS.

34. STEEL ANGLE LINTELS IN MASONRY VENEER FRAME CONSTRUCTION OPENINGS (UNLESS OTHERWISE NOTE ON PLANS): $3\frac{1}{2}$ " x $3\frac{1}{2}$ " x $3\frac{1}{2}$ " w $3\frac{1}{2}$

6" x 3½" x ¾" @ SPANS UP TO 8'-0" 6" x 4" x½" @ SPANS UP TO 9'-0"

STEEL

35. ALL STRUCTURAL STEEL TO CONFORM WITH ASTM SPECIFICATION A36. PIPE COLUMNS AND BASE/CAP PLATES TO CONFORM WITH ASTM SPECIFICATIONS A501 AND A53.

36. STEEL COLUMNS TO BE 3" DIAMETER ($3\frac{1}{2}$ " OUTSIDE DIAMETER) SCHEDULE 40 STEEL PIPE (NON-ADJUSTABLE) UNLESS OTHERWISE NOTED.

37. PROVIDE A 2x PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH $\frac{3}{8}$ " DIAMETER BOLTS STAGGERED

47. ALL BEAMS WITH FLITCH PLATES ARE TO BE BOLTED TOGETHER WITH ½" DIAMETER BOLTS AT 12" O.C. STAGGERED TOP AND BOTTOM WITH 2 BOLTS AT FACH FIND

48. MICROLAM BEAMS TO BE FASTENED TOGETHER TOP AND BOTTOM WITH ½" DIAMETER BOLTS AT 24" O.C. STAGGERED WITH 2 BOLTS AT EACH END. ALL TJI'S AND MICROLAMS TO BE INSTALLED, BRACED, JOIST HUNG, ETC., ACCORDING TO MANUFACTURERS SPECIFICATIONS. IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK. ALL MICROLAMS AND TJI'S TO BE STORED IN A CLEAN DRY PLACE TO PREVENT DELAMINATION. DELAMINATED LUMBER IS TO BE REJECTED.

49. PROVIDE DOUBLE JOIST BELOW ALL INTERIOR PARTITIONS THAT RUN PARALLEL WITH THE JOISTS. PROVIDE DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS.

50. BRIDGING IN FLOOR AND CEILING JOISTS TO BE 1"x3" WOOD CROSS BRIDGING, PREFABRICATED METAL CROSS BRIDGING OF FULL HEIGHT SOLID BRIDGING OFFSET AND END NAILED. SET BRIDGING AT 6'-0" O.C. MAXIMUM

51. BRACE ALL CORNERS AT EXTERIOR WITH SIMPSON #CWB 106 16 GAUGE GALVANIZED METAL CORNER BRACING OR EQUIVALENT; OR $\frac{1}{2}$ " EXTERIOR GRADE PLYWOOD (4'-0" WIDTH MINIMUM) NAILED AND GLUED TO EXTERIOR WALL STUDS.

52. WOOD TRUSSES ARE TO CONFORM TO NFPA SPECIFICATION INCLUDING:
DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES, TPI-78
QUALITY CONTROL MANUAL FOR METAL PLATE CONNECTED WOOD TRUSSES, QCM-77
BRACING WOOD TRUSSES, BWT-76
HANDLING AND ERECTING WOOD TRUSSES, HET-80

WOOD TRUSS DESIGN LOADS TO BE
TOP CHORD LIVE 25 PSF
DEAD 10 PSF
BOTTOM CHORD DEAD 10 PSF
TOTAL DESIGN LOAD = 45 PSF

TRUSSES TO BE SPACED AT 24" O.C. AND SHALL NOT BEAR ON ANY INTERIOR PARTITIONS UNLESS OTHERWISE NOTED ON DRAWINGS. PROVIDE 'SIMPSON H2.5' (OR EQUIVALENT) ANCHORS BETWEEN TRUSS AND PLATE. ALL TRUSS DESIGNS SHALL BE BY THE TRUSS MANUFACTURER'S LICENSED PROFESSIONAL ENGINEER AND SHALL BEAR THE NAME AND SEAL AND/OR REGISTER NUMBER AND STATE OF REGISTRY. SUBMIT TRUSS DESIGN DATA FOR BUILDING DEPARTMENT APPROVAL. CALCULATIONS SHALL INCLUDE SPECIFICATION FOR TRUSS HANGERS WHERE REQUIRED.

53. MAXIMUM DEFLECTION LIMITS OF MEMBERS: FLOOR JOIST/BEAMS = L/360, ROOF BEAMS = L/240, RAFTERS w/CEILING = L/240, RAFTERS w/O CEILING L/180.

THERMAL AND MOISTURE PROTECTION

54. ALL THERMAL PROTECTION TO COMPLY WITH THE MINIMUM REQUIREMENTS OF THE 2009 IECC PROVIDE FIBERGLASS BATT OR BLOWN INSULATION OF THE FOLLOWING R VALUES:

A. CEILINGS/ATTIC

R-49 BATT OR BLOWN FIBERGLASS

B. FLOORS OVER UNHEATED SPACES R-38 BATT FIBERGLASS
C. EXTERIOR WALLS 4" STUDS R-13 FIBERGLASS BATTS
6" STUDS R-20 FIBERGLASS BATTS

PROVIDE ADDITIONAL INSULATION:

D. UNFINISHED BASEMENT FOUNDATION WALLS - FROM TOP OF WALL TO 30" BELOW GRADE = R-10
E. FINISHED BASEMENT FOUNDATION WALLS = R-13

DOOR AND WINDOW GLAZING MINIMUM VALUE SHALL BE Uo=0.40 MAXIMUM.

VAPOR BARRIERS OF 6 MIL POLYETHYLENE MINIMUM TO BE PLACE UNDER SLABS AND CRAWL SPACE (6" LAP AT EDGES). VAPOR BARRIERS OF 4 MIL POLYETHYLENE MINIMUM TO BE PLACE ON WARM SIDE OF INSULATION IN EXTERIOR WALLS. ALL JOINTS TO BE TAPED.

55. TWO COATS OF BITUMINOUS ASPHALT WATERPROOFING TO BE APPLIED ON ALL FOUNDATION WALLS AND FOOTINGS BELOW GRADE.

WOOD

38. WALL STUDS TO BE SPF LUMBER OR CONSTRUCTION GRADE SOUTHERN PINE (Fb=1100psi). ALL OTHER LUMBER TO BE SOUTHERN PINE #2 (Fb=1210psi; E=1,600,000psi; Fv-93psi). MICROLAM MEMBERS TO HAVE Fb=2800psi; E=2,000,000psi.

39. PRESSURE TREATED LUMBER TO BE PRESSURE-PRESERVATIVE-TREARED TO \(^3\)4 LB. RETENTION OF CHROMATED ZINC CHLORIDE (CZC) PER FEDERAL SPECIFICATION TT-W-571, TITLE III, LATEST EDITION... ALL STRUCTURAL LUMBER EXPOSED TO THE EXTERIOR TO BE PRESSURE-PRESERVATIVE-TREATED WOOD.

40. ALL FURRING AND LUMBER WITHIN 6" OF FINISHED GRADE TO BE PRESSURE TREATED.

41. PLYWOOD TO BE APA PANEL SPECIFICATIONS RATED FOR SPECIES, PANEL GRADE, SPAN RATING, THICKNESS, EXPOSURE CLASSIFICATION AND MILL LUMBER.

42. ALL WALL SHEATHING SEAMS TO BE BACKED BY BLOCKING EQUAL TO STUD SIZE.

43. NOTCHES IN WALL STUDS ARE NOT TO EXCEED $\frac{1}{4}$ " OF THE STUD WIDTH, AND NO HOLES ARE TO BE BORED GREATER THAN 40% OF THE STUD WIDTH. NOTCHES AT THE END OF THE JOISTS ARE NOT TO EXCEED $\frac{1}{4}$ OF THE JOIST DEPTH, WITHIN TWO INCHES OF THE TOP OR BOTTOM OF THE JOISTS ARE NOT TO EXCEED $\frac{1}{6}$ OF THE JOIST DEPTH NOR BE LOCATED IN THE MIDDLE $\frac{1}{3}$ OF THE SPAN. NO HOLES ARE TO BE BORED LARGER THAN $\frac{1}{3}$ OF THE JOIST DEPTH, WITHIN TWO INCHES ON THE TOP OR BOTTOM OF THE JOISTS, NOR WITHIN TWO FEET OF JOIST BEARING. NO HOLES OR NOTCHES ARE ALLOWED IN BEAMS UNLESS REVIEWED BY ARCHITECT.

44. ALL SOLID BEARING POINTS UNDER POINT LOADS, AT THE SUPPORT POINTS OF BEAMS AND HEADERS AND WHERE MARKED WITH AN "X" ON THE DRAWINGS SHALL BE AT LEAST THE WIDTH OF THE BEARING STRUCTURAL MEMBER AND/OR A MINIMUM OF (3) 2x4 STUDS NAILED TOGETHER WITH 10D NAILS AT 16' O.C., UNLESS NOTED OTHERWISE.

45. HEADER SIZES AT FRAME OPENINGS (UNLESS OTHERWISE NOTED ON PLANS):

(2) 2x8'S @ SPANS 4'-6"
(2) 2X8'S WITH ½" PLYWOOD PLATE @ SPANS TO 5'-0"
(2) 2X10'S @ SPANS 5'-6"

(2) 2X10'S WITH ½" PLYWOOD PLATE @ SPANS TO 6'-0"
(2) 2X12'S @ SPANS 6'-6"
(2) 2X10'S WITH ½" PLYWOOD PLATE @ SPANS TO 7'-0"
(2) 2X10'S WITH ½" PLYWOOD PLATE @ SPANS TO 7'-0"
(2) 2X10'S WITH ½" PLYWOOD PLATE @ SPANS TO 7'-0"
(2) 1¾" TO 9½" MICROLAMS AT SPANS TO 9'-0" OVER GARAGE DOORS
(2) 1¾" TO 14" MICROLAMS AT SPANS TO 16'-0" OVER GARAGE DOORS

46. ALL MULTIPLE 2x HEADERS TO BE FASTENED TOGETHER AT TOP AND BOTTOM INTO EACH ADJACENT MEMBER WITH MINIMUM 2 ROWS OF 10d NAILS @ 12" O.C.

MECHANICAL / ELECTRICAL

56. MECHANICAL AND ELECTRICAL CONTRACTORS SHALL BE RESPONSIBLE FOR MECHANICAL AND ELECTRICAL SYSTEM WORKING DRAWINGS IN COORDINATION WITH THE ARCHITECTURAL CONSTRUCTION DOCUMENTS. CONTRACTOR TO TAKE OWN MEASUREMENTS, REVIEW SYSTEM LAYOUTS FOR COMPLETION AND CODE COMPLIANCE, SIZE SYSTEMS AND COORDINATE WITH OTHER CONTRACTOR. ALL INCONSISTENCIES BETWEEN MECHANICAL AND ELECTRICAL DESIGN AND ARCHITECTURAL WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER PRIOR TO FABRICATION.

57. MECHANICAL AND ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR FINAL DESIGN, LAYOUT AND INSTALLATION OF ALL MECHANICAL AND ELECTRICAL SYSTEMS, INCLUDING APPLICABLE PROFESSIONAL ENGINEERING TO MAINTAIN THE PROVISIONS OF THESE SPECIFICATIONS, DRAWING AND APPLICABLE CODES: NATIONAL, STATE AND LOCAL.

58. FLOOR DRAINS TO BE PROVIDED AT FURNACE AND WHERE INDICATED ON THE PLANS.

59. EXHAUST FANS TO VENT DIRECTLY TO EXTERIOR THROUGH NON-COMBUSTIBLE DUCTS. ALL EXHAUST VENTS, ROOF VENTS AND PLUMBING STACKS SHALL RUN TO REAR PLAIN OF THE ROOF. RANGE HOOD MAY RECIRCULATE AIR AND NOT BE DUCTED.

60. ALL RECEPTACLES IN BATHROOMS, AT EXTERIOR AND IN GARAGE TO BE PROTECTED BY GFI CIRCUIT.

61. INSTALL SMOKE DETECTORS (NFPA 74) HARD WIRED TO AC, I 10-V ELECTRICAL HOUSE CURRENT WITH BATTERY BACKUP. INSTALL AT EVERY OCCUPIED FLOOR AND BASEMENT, SLEEPING AREAS AND STAIR AREAS (EXCLUDING CRAWL SPACES AND UNFINISHED ATTICS). SMOKE DETECTORS TO BE INTERCONNECTED.

a: IONIZATION TYPE DETECTOR IN ALL BEDROOMSb: PHOTOELECTRIC TYPE DETECTOR IN KITCHEN AND IN THE VICINITY OF BEDROOMS

c: MINIMUM (I) PHOTOELECTRIC TYPE AND (I) IONIZATION TYPE PER FLOOR

62. INSTALL AN ELECTRIC FAN IN EACH BATHROOM, CAPABLE OF PRODUCING ONE AIR CHANGE EVERY 12 MINUTES. SEE RCP. HARD-PIPE TO EXTERIOR.

ENERGY CALCULATIONS

Uo OF 8" POURED CONCRETE IS . 182 TYPICAL AT ALL EXPOSED CONCRETE FOUNDATION WALLS ABOVE FINISH GRADE.
A .004 VAPOR BARRIER IS REQUIRED IN ALL TYPES OF ASSEMBLIES (REFER TO SECTION AND DETAILS FOR LOCATIONS);
HOWEVER, IT HAS NO SIGNIFICANT 'R' VALUE AND IS NOT INCLUDED IN THE TOTAL 'R' FOR ANY ASSEMBLY.
AIR INFILTRATION RATES SHALL NOT EXCEED THE FOLLOWING:
WINDOWS: 0.5 CFM PER LINEAL FOOT OF SASH

EXTERIOR DOORS: 1.25 CFM PER SQUARE FOR OF DOOR

U-VALUE AT TYPICAL ROOF/CEILING ASSEMBLY

'R' VALUES
AIR FILM @ TOP INSULATION .61
CEILING INSULATION 49.00
½" DRYWALL .45
AIR FILM @ BOTTOM DRYWALL .61
TOTAL 'R' 50.67

PLATTI

+ DESIGN

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KURT J. PLATTE 10833 Exp. Date: 12.31.2025

Design Team: BR, RO, CH

Progress Dates 2025.10.08 - PERMIT

Revisions

OJECT: **?T VILLE 2**

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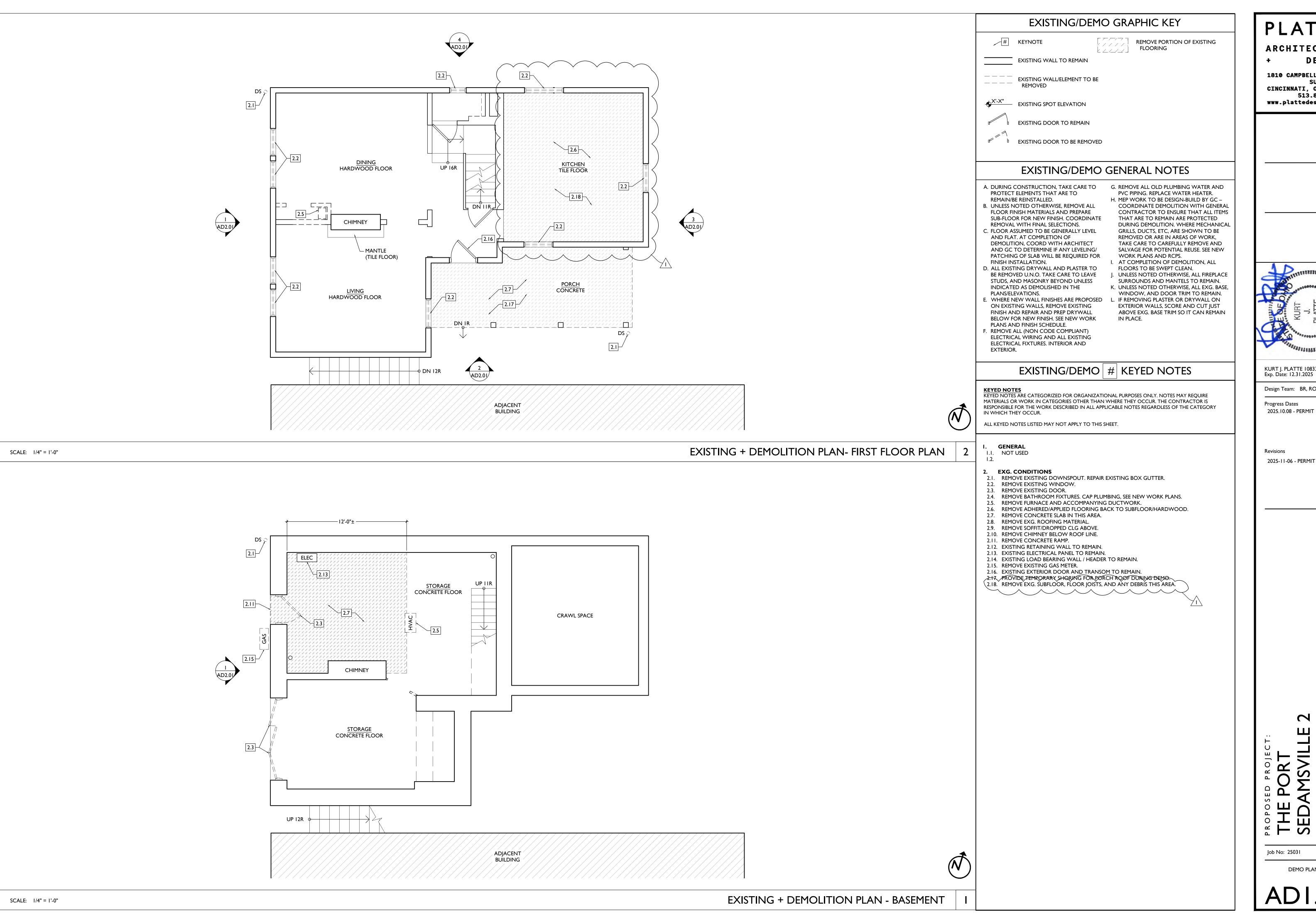
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GENERAL NOTES

OVERALL SITE PLAN

A0.02



PLATTE ARCHITECTURE

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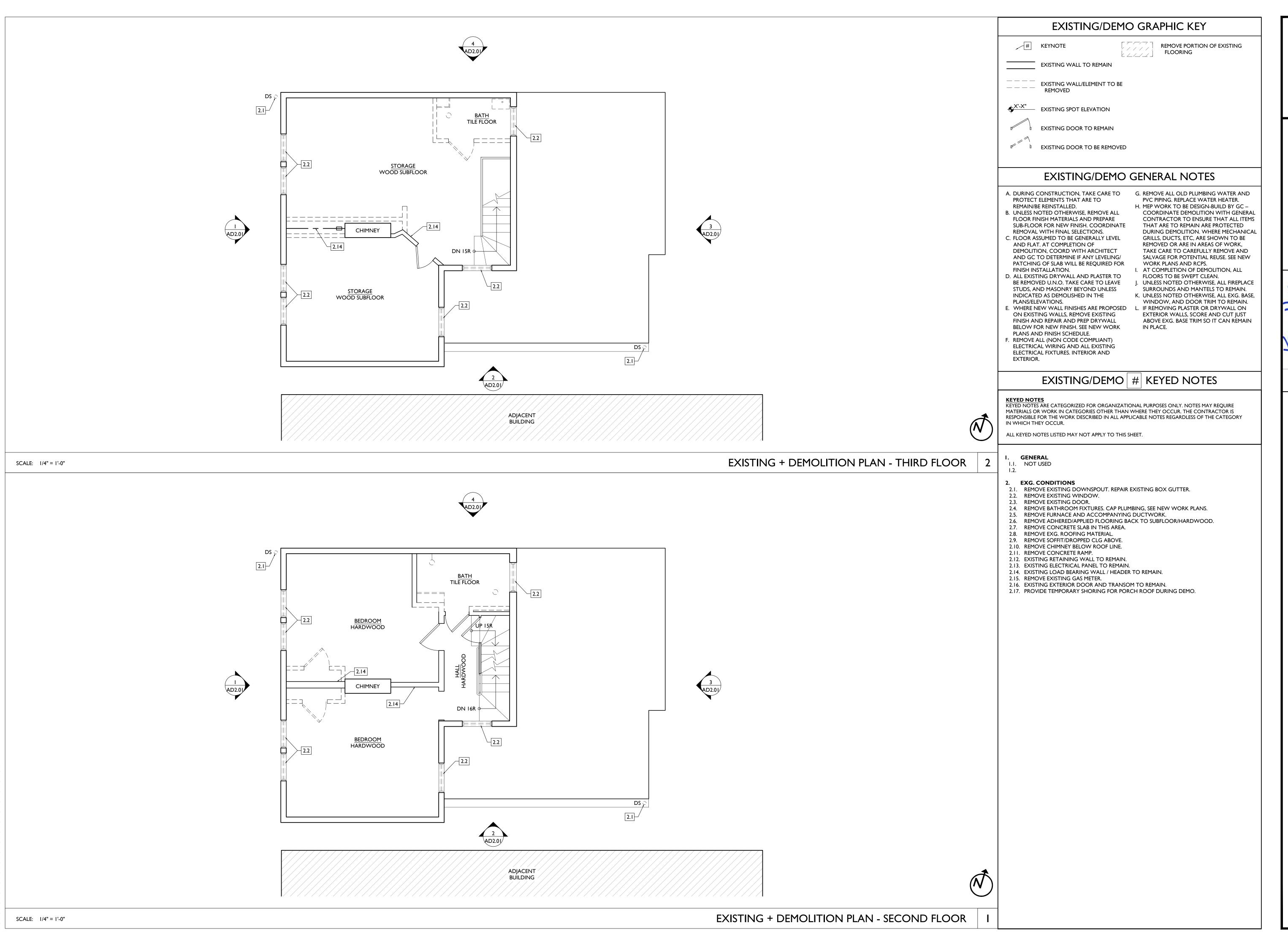
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DEMO PLANS



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ROPOSED PROJECT:

THE PORT

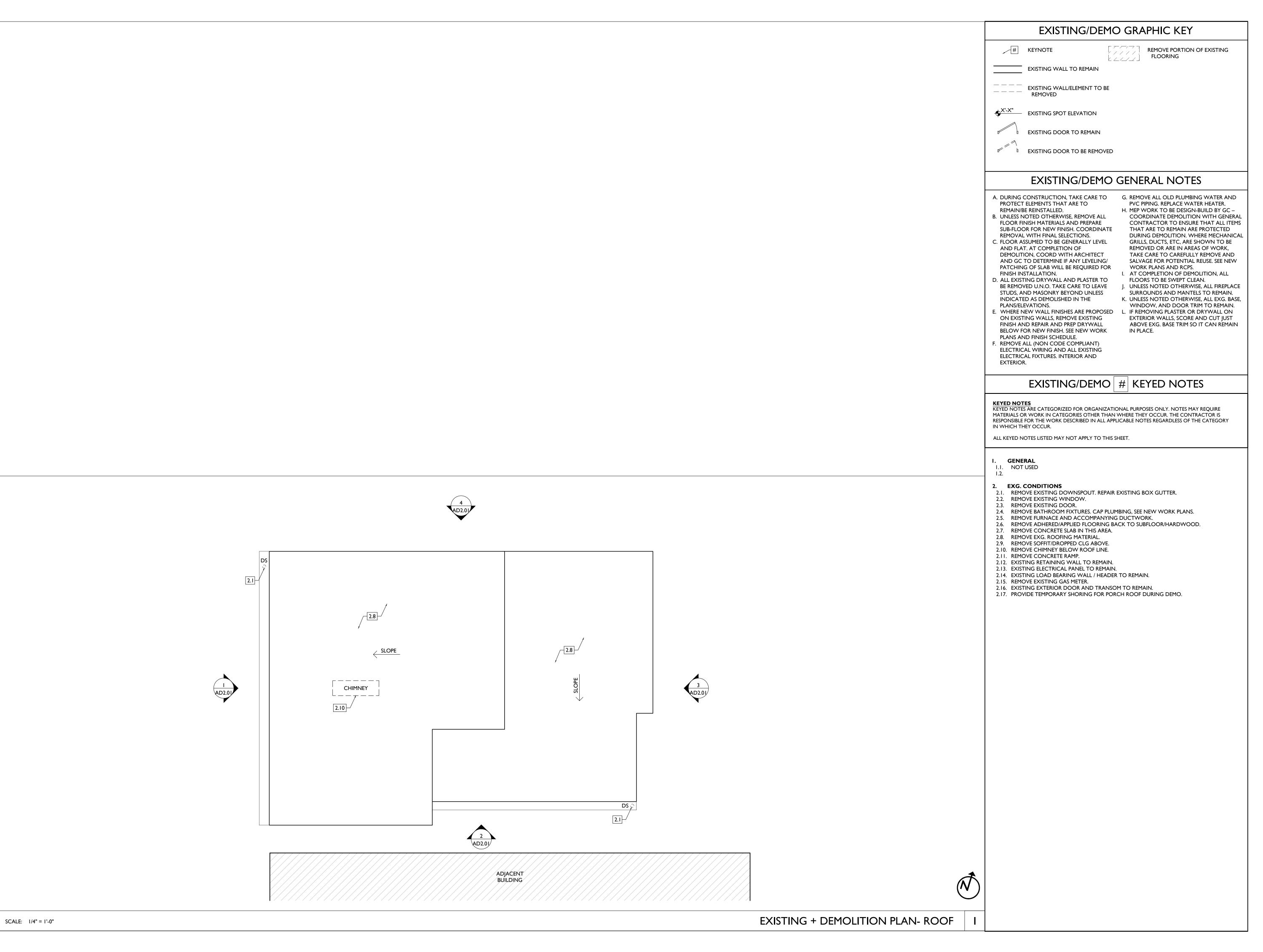
SEDAMSVILLE 2

54 STEINER AVE

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DEMO PLANS

ADI.02



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OSED PROJECT:

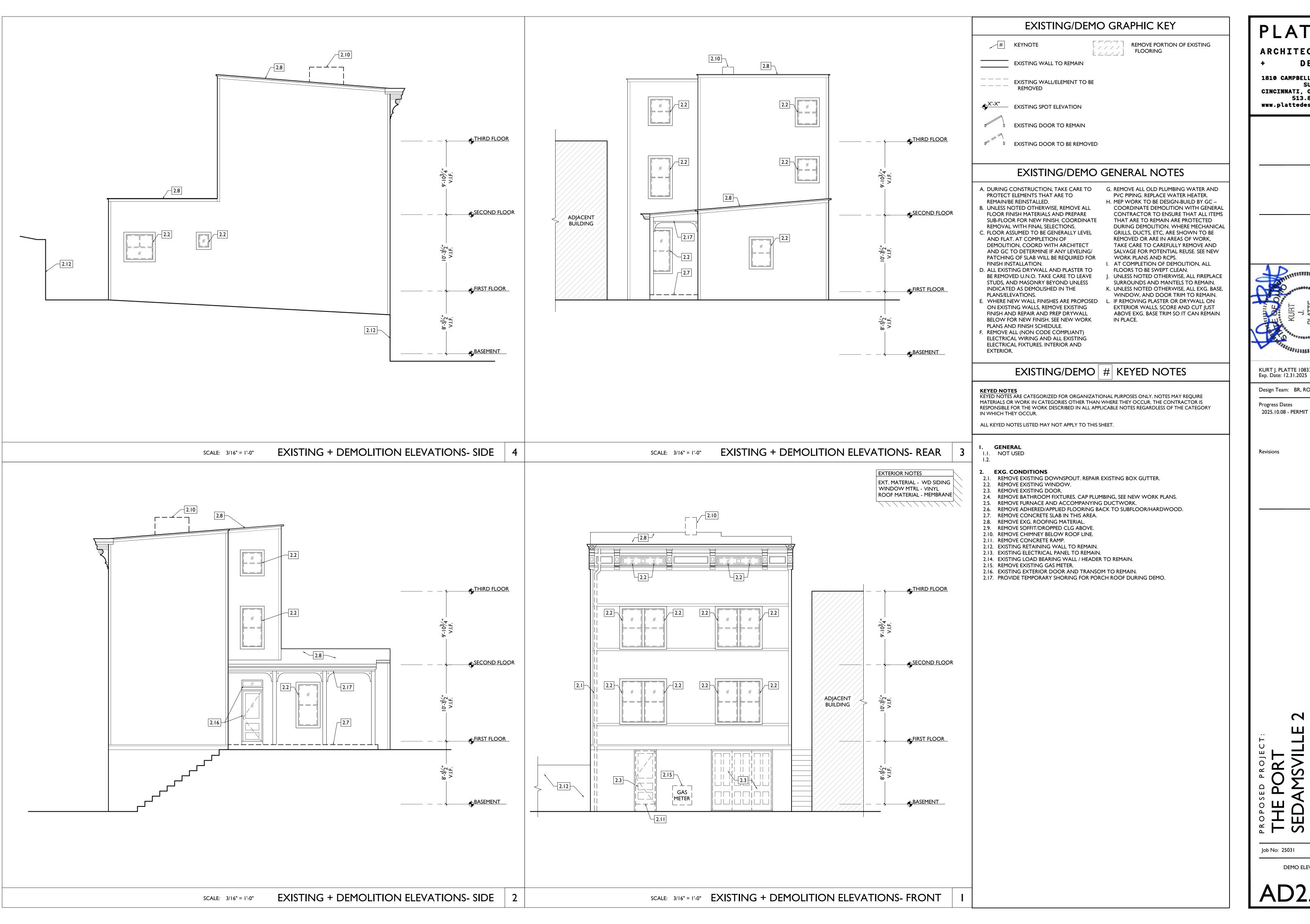
E PORT

DAMSVILLE 2

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DEMO PLANS

AD1.03



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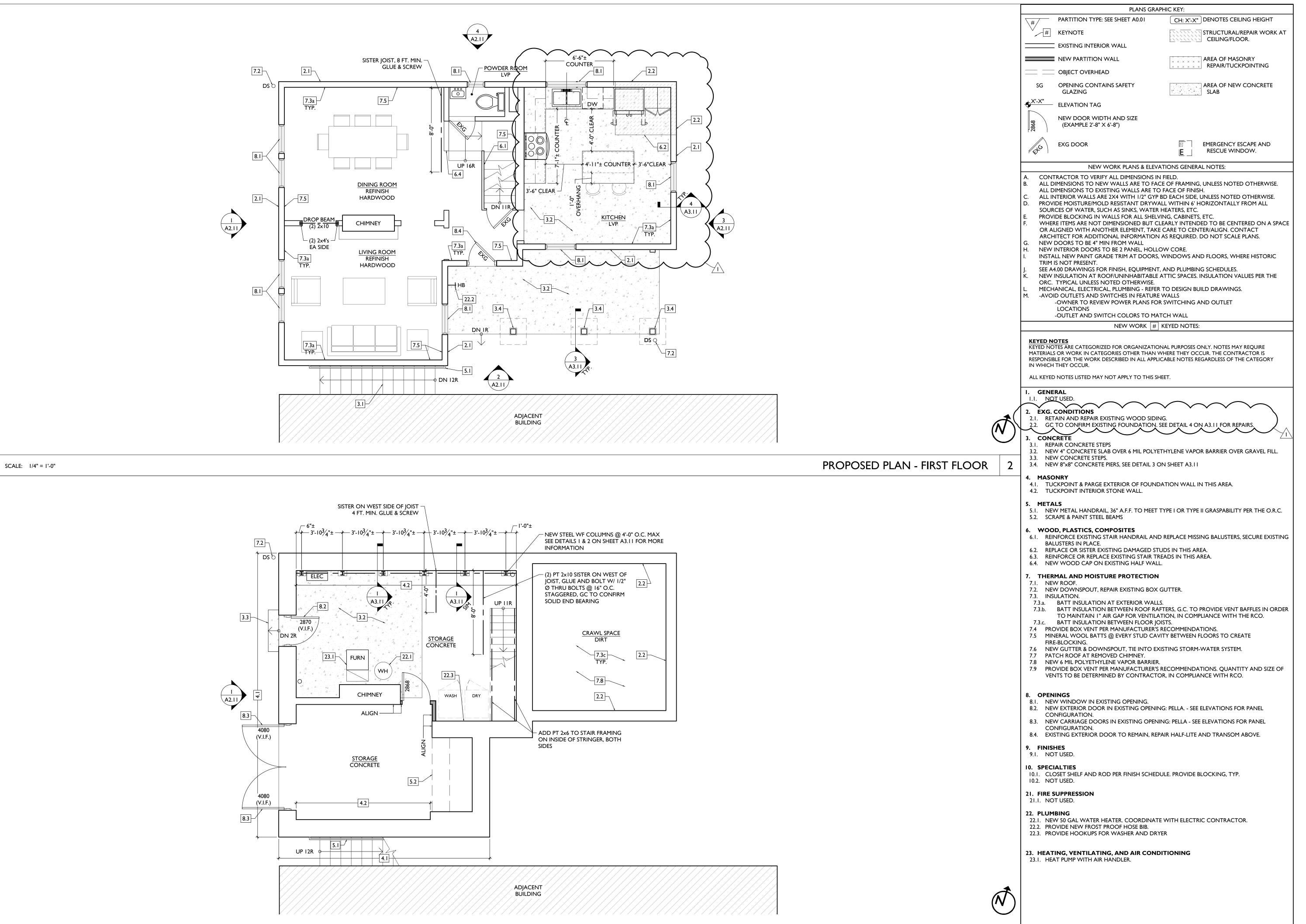
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Design Team: BR, RO, CH

Revisions

Job No: 25031

DEMO ELEVS



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - BASEMENT

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Progress Dates

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2025-10-31 - ENG CHANGE 01

ED PROJECT:
PORT

MSVILLE 2

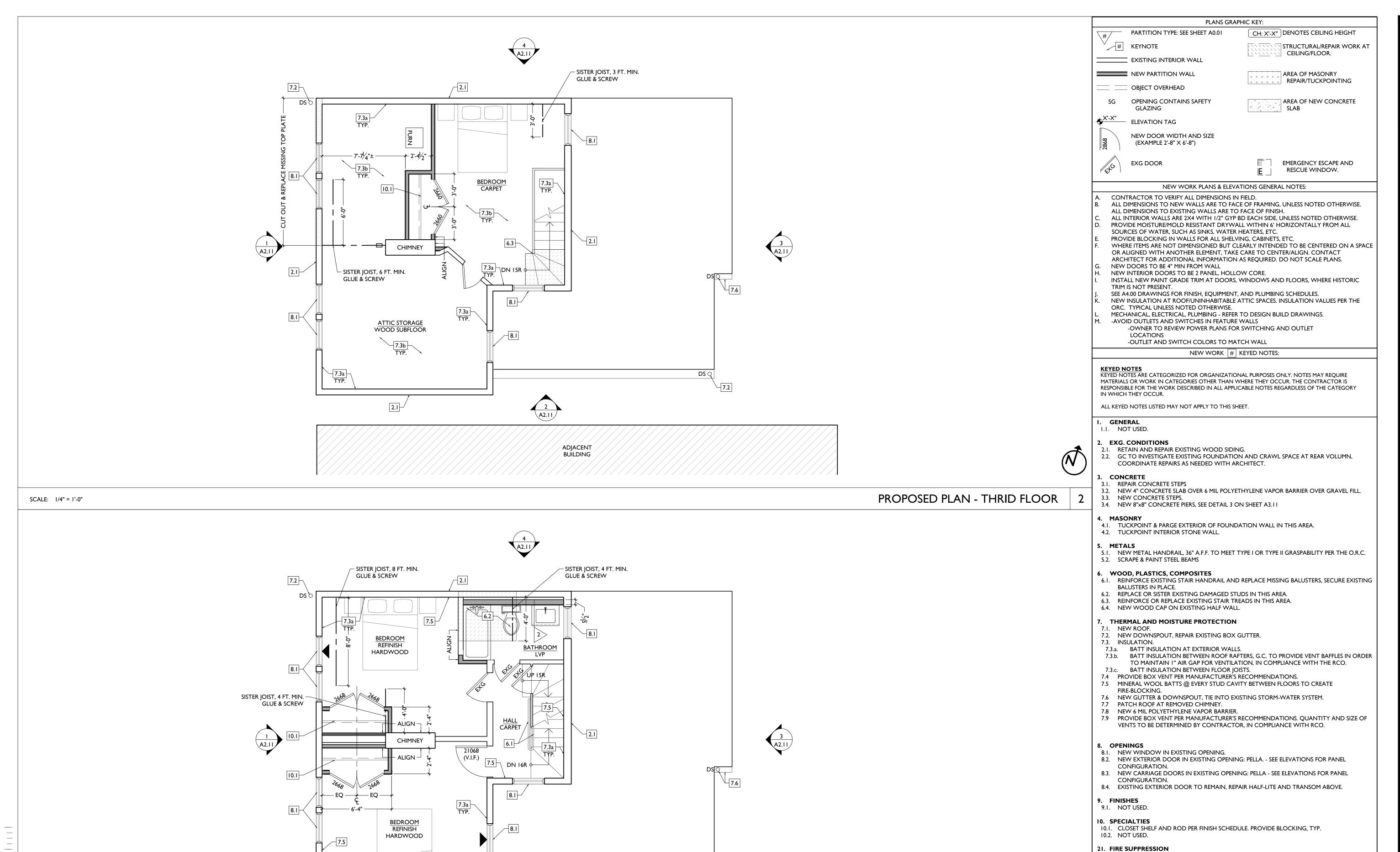
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PLANS

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DESIGN

SUITE 300

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Job No: 25031

PLANS

PROPOSED PLAN - SECOND FLOOR

21.1. NOT USED.

22.2. PROVIDE NEW FROST PROOF HOSE BIB. 22.3. PROVIDE HOOKUPS FOR WASHER AND DRYER

23.1. HEAT PUMP WITH AIR HANDLER.

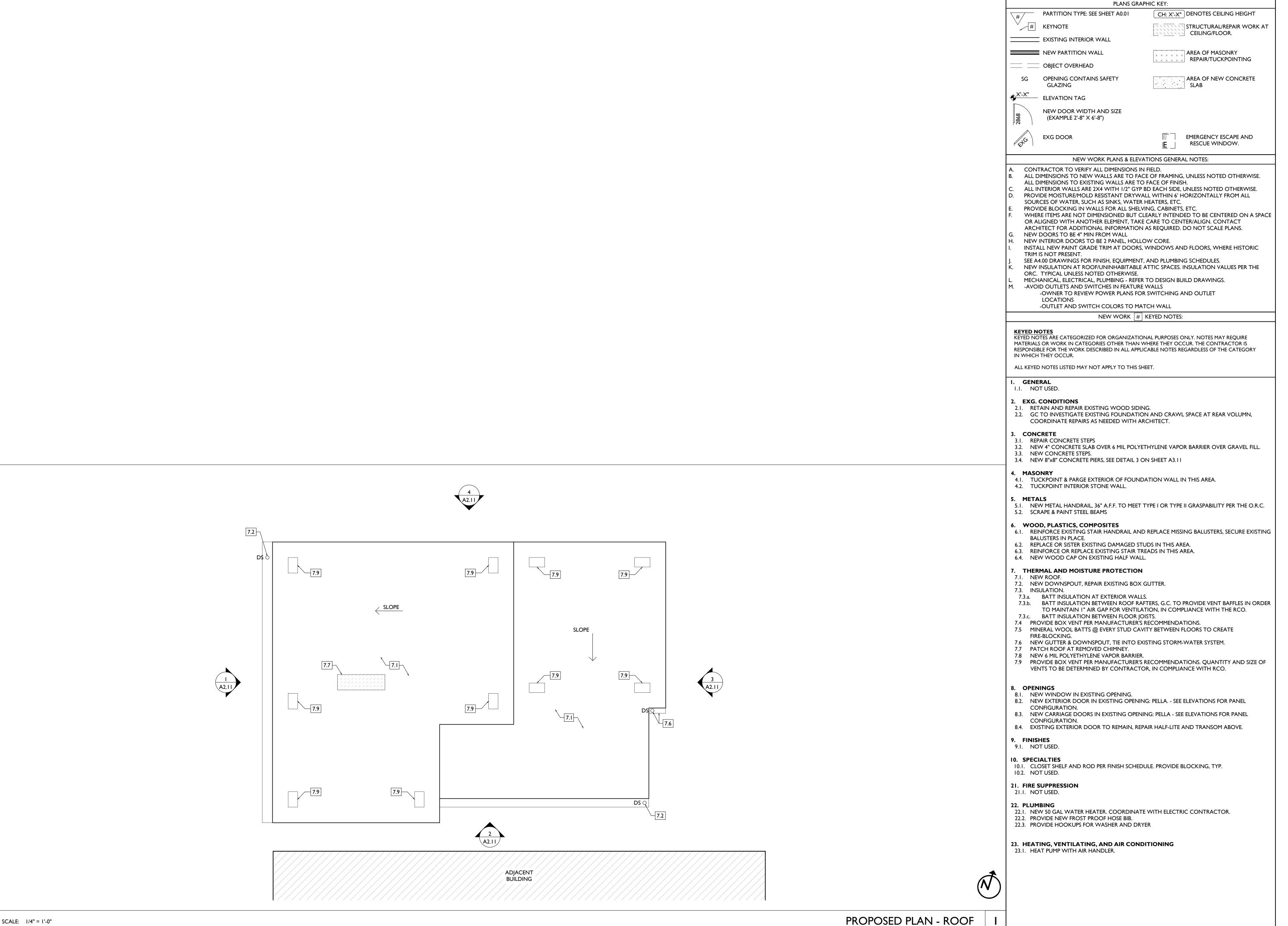
23. HEATING, VENTILATING, AND AIR CONDITIONING

22.1. NEW 50 GAL WATER HEATER. COORDINATE WITH ELECTRIC CONTRACTOR.

SCALE: 1/4" = 1'-0"

2.1

ADJACENT BUILDING



SCALE: 1/4" = 1'-0"

PLATTE

ARCHITECTURE DESIGN

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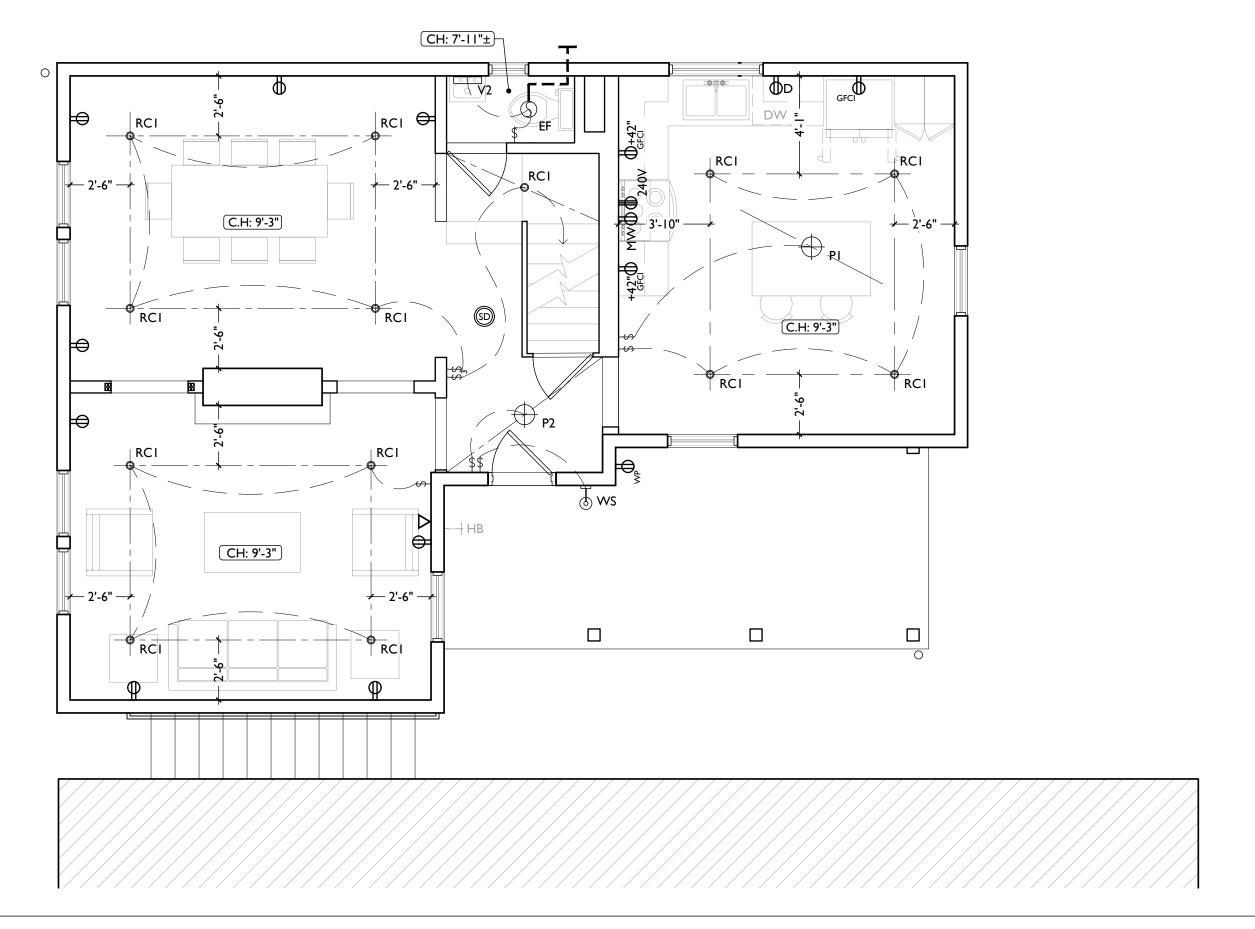
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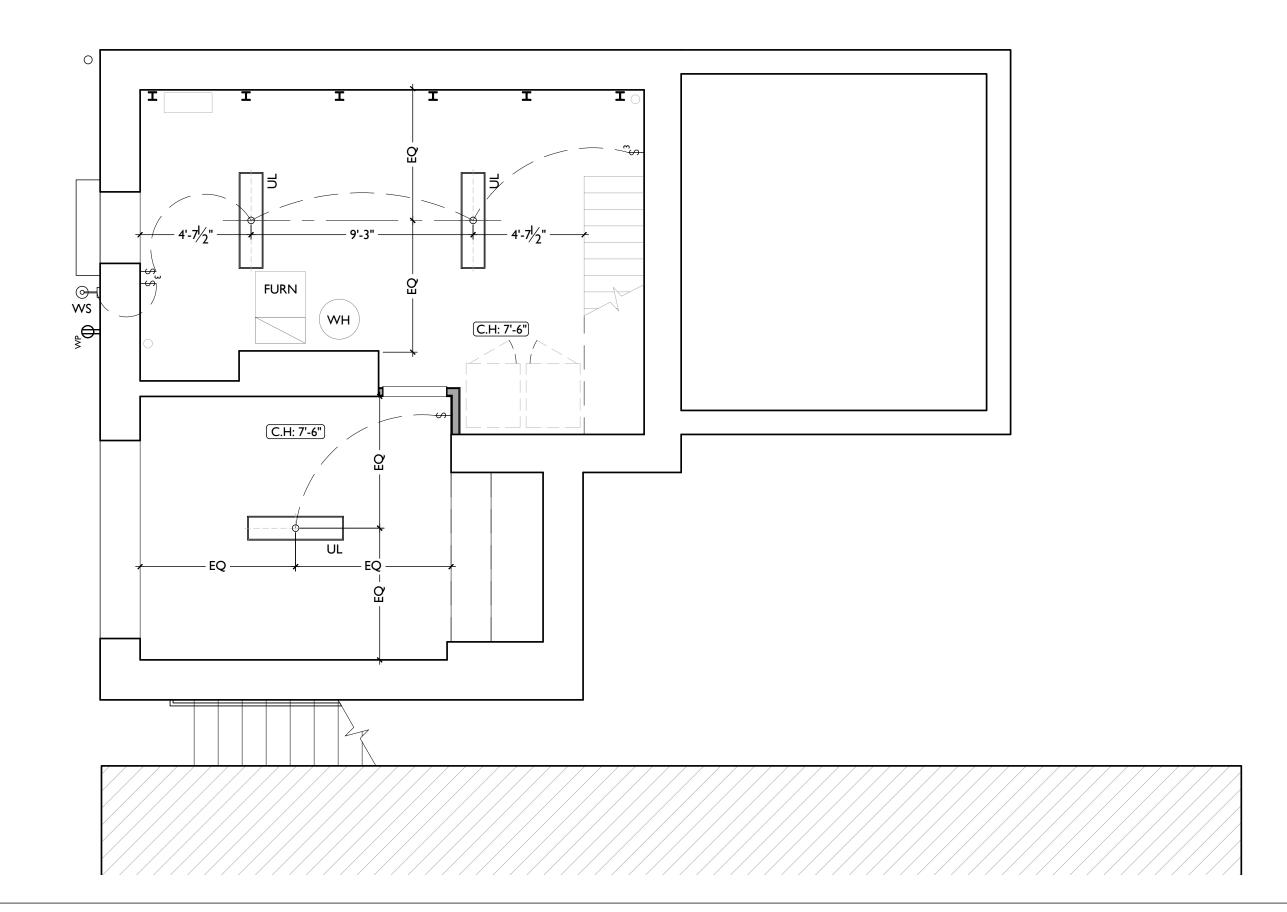
Job No: 25031

PLANS



SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN- FIRST FLOOR 2



REFLECTED CEILING PLAN GENERAL NOTES:

- A. <u>NOTE:</u> THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED. PART 2, INCLUDING AMENDMENTS. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED
- UNLESS SPECIFICALLY INDICATED IN ARCH DWGS.
- B. IF A FIXTURE APPEARS TO BE CENTERED IN A SPACE, THEN CENTER IT.
- C. LOWERED CEILINGS AND SOFFITS SHALL BE 8'-0" HIGH A.F.F., U.N.O. D. CLG HTS AT EXG FLOORS ARE TO BE VI.F.
- E. ALL CEILING FINISHES IN OCCUPIED SPACES TO BE SMOOTH PAINTED DRYWALL U.N.O. SEE
- FINISH SCHEDULE FOR PAINT COLORS.

 F. BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS NO FINISH CLGS U.N.O.
 G. ALL SOFFITS OVER KITCHEN CABINETS TO BE 8'-0" AFF AND 2'-1 1/2" WIDE MINIMUM.
- H. PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTAL
- UNITS. SEE ELEC DWGS.
- SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.
 SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.
- K. ANY FIXTURES LOCATED IN AREAS WITH REMAINING HISTORIC TIN CEILINGS SHOULD BE CENTERED ON THE CEILING TILES, RATHER THAN PERFECTLY CENTERED IN THE SPACE. ADJUST THE GRID PLACEMENT/DIMENSIONS BY A FEW INCHES AS REQUIRED TO
- ACCOMMODATE THIS.

 L. ELECTRICAL DEVICES SHOWN FOR TYPE AND LOCATION ONLY. ALL REQUIRED DEVICES MAY NOT BE SHOWN. ELECTRICAL SYSTEM DESIGN BY OTHERS.

CH: 8'-0"

CEILING HEIGHT TAG (TYP 8'-0" U.N.O.)

SOFFIT/LOWERED GYP BD CEILING

COMBO SMOKE/CARBON MONOXIDE DETECTOR:

IONIZATION (TYP BEDROOMS)

PHOTOELECTRIC

CENTER ON ARCHITECTURAL FEATURE

STRUCTURAL MEMBER -

		POWER PLAN LEGEND:
	GFCI	GROUNDED
	WP	WEATHER PROOF
	+42"	42" ABOVE FINISH FLOOR
	Φ	DUPLEX OUTLET
	₩	QUAD OUTLET
	₽ ^{240∨}	APPLIANCES OUTLET. 240 VAULT.
	Φ^{D}	DISHWASHER/DISPOSAL - PROVIDE SWITCH (FOR DISPOSAL) AND OUTLET.
_	Φ_{M}	OUTLET FOR MICROWAVE. LOCATE IN CABINET ABV.
2	\$	LIGHT SWITCH
	<u>\$</u> 3	3 WAY SWITCH
	<u>\$</u>	4 WAY SWITCH
		CIRCUIT
	∇	LOCATION FOR DATA/INTERNET.

LINE OF EXHAUST

SYMBOL	FIXTURE TYPE	REMARKS
O _{RCI}	RECESSED CAN LIGHT	B.O.D HALO 4" CAN LESS LED LIGHT OR SIMILAR
EF	EXHAUST FAN/LIGHT COMBO	
VI V2	WALL MOUNT VANITY LIGHT	VI - TYPICAL OVER BATHROOM VANITIES V2 - TYPICAL OVER POWDER ROOM VANITIES
F/L	CEILING FAN WITH LIGHT	TYPICAL IN BEDROOMS. BOD - MODERN HABITAT WHISPERBLOOM 52" SATIN BRASS
ws ⊚–[EXTERIOR WALL SCONCE	WALL SCONCE - TO BE DAMP RATED.
⊕ _{PI}	PENDANT	TYPICAL AT ISLANDS.
	UTILITY LIGHT	LED STRIP LIGHT FOR UTILITY SPACES
\bigoplus_{P2}	FOYER LIGHT	TYPICAL AT IN FOYERS

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Design Team: BR, RO, CH

Progress Dates
2025.10.08 - PERMIT

Revisions

ROJECT:
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SVILLE 2

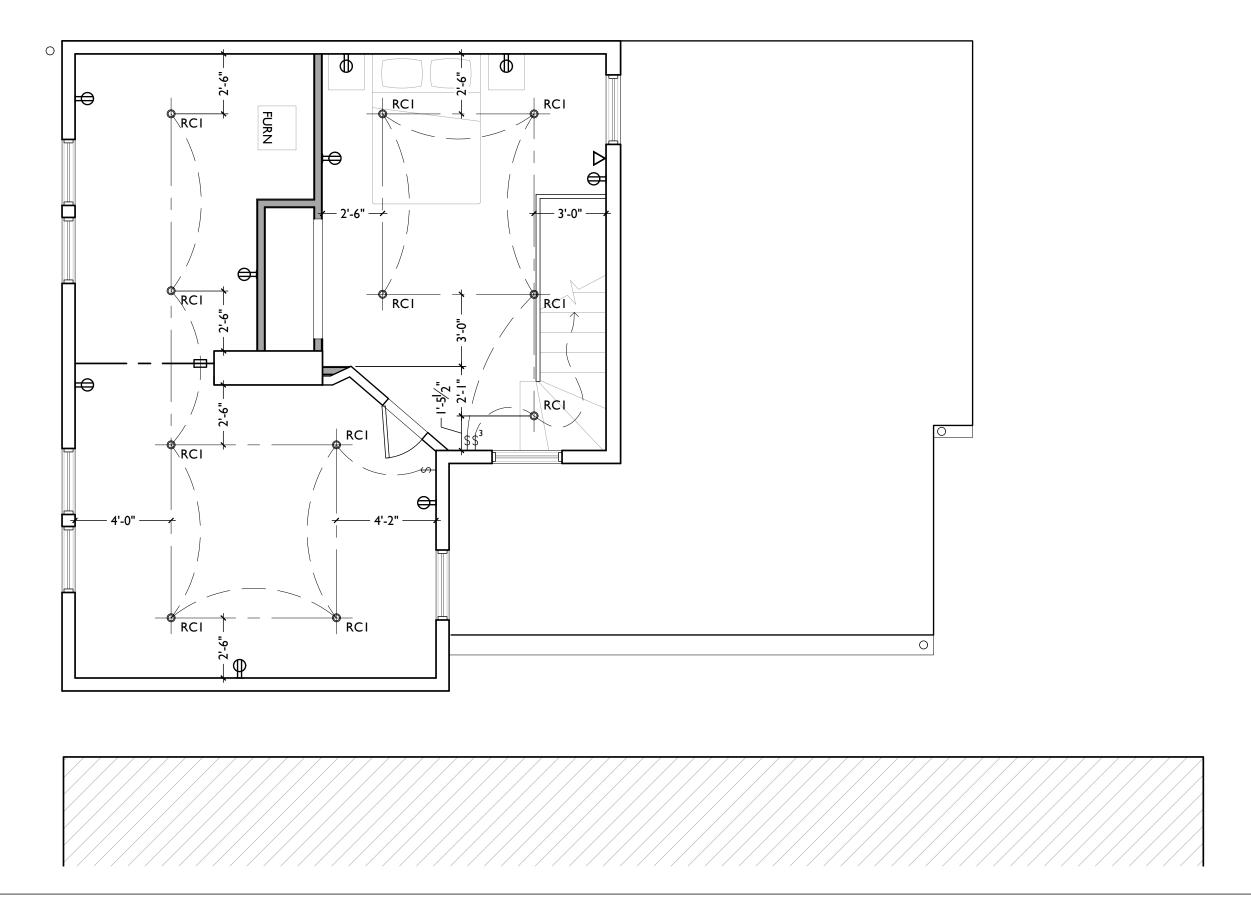
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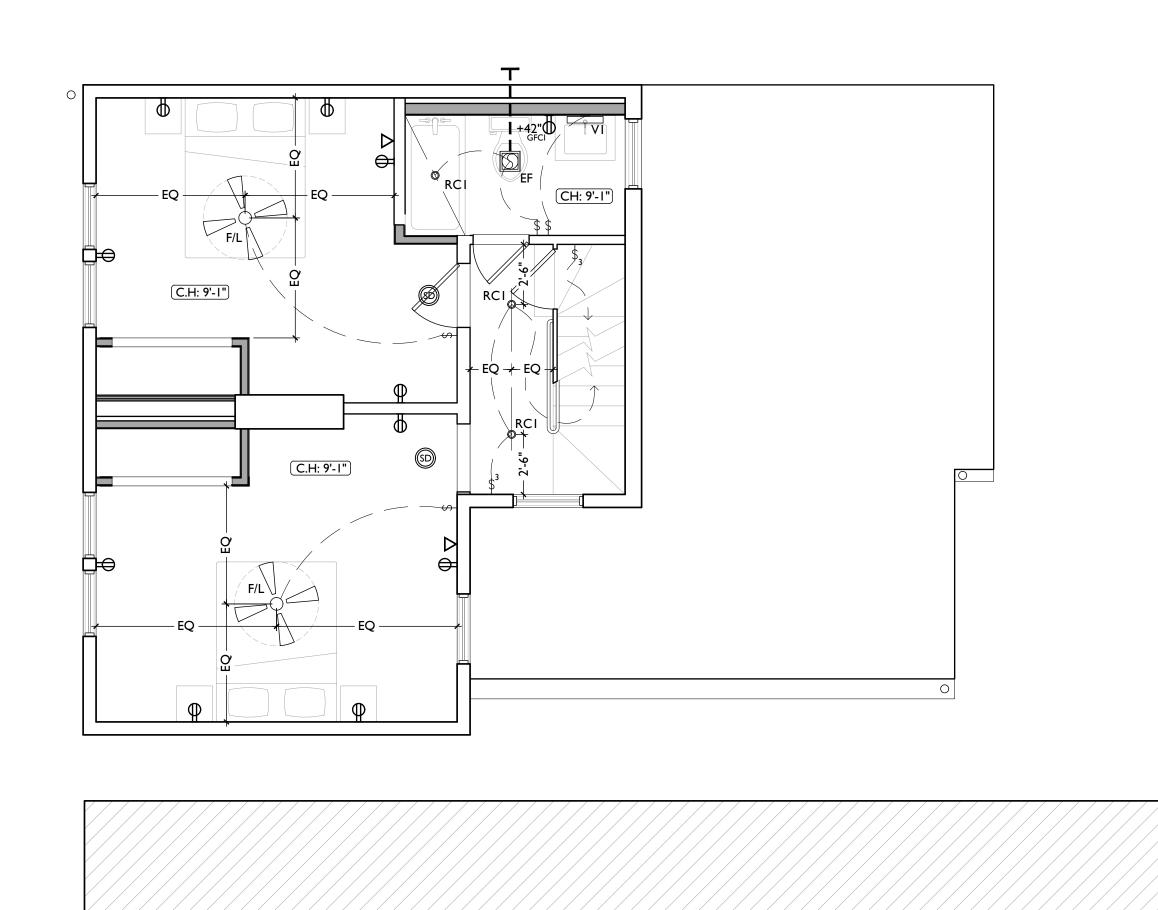
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REFLECTED CEILING PLAN- BASEMENT



SCALE: NTS

REFLECTED CEILING PLAN- ATTIC



REFLECTED CEILING PLAN GENERAL NOTES:

- A. <u>NOTE:</u> THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED. PART 2, INCLUDING AMENDMENTS. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED
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- UNITS. SEE ELEC DWGS.
- I. SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.
- J. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.
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CEILING HEIGHT TAG (TYP 8'-0" U.N.O.)

SOFFIT/LOWERED GYP BD CEILING

COMBO SMOKE/CARBON MONOXIDE DETECTOR:
- IONIZATION (TYP BEDROOMS)
- PHOTOELECTRIC

CENTER ON ARCHITECTURAL FEATURE

STRUCTURAL MEMBER
LINE OF EXHAUST

POWER PLAN LEGEND:

GFCI GROUNDED

WP WEATHER PROOF

+42" 42" ABOVE FINISH FLOOR

DUPLEX OUTLET

QUAD OUTLET

APPLIANCES OUTLET. 240 VAULT.

DISHWASHER/DISPOSAL - PROVIDE SWITCH (FOR DISPOSAL) AND OUTLET.

WW OUTLET FOR MICROWAVE. LOCATE IN CABINET ABV.

LIGHT SWITCH

\$\frac{3}{4} 3 WAY SWITCH

LOCATION FOR DATA/INTERNET.

SYMBOL	FIXTURE TYPE	REMARKS				
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© EF	EXHAUST FAN/LIGHT COMBO					
VI V2	WALL MOUNT VANITY LIGHT	VI - TYPICAL OVER BATHROOM VANITIES V2 - TYPICAL OVER POWDER ROOM VANITIES				
F/L	CEILING FAN WITH LIGHT	TYPICAL IN BEDROOMS. BOD - MODERN HABITAT WHISPERBLOOM 52" SATIN BRASS				
ws ⊚–[EXTERIOR WALL SCONCE	WALL SCONCE - TO BE DAMP RATED.				
⊕ _{PI}	PENDANT	TYPICAL AT ISLANDS.				
. — ф — — — UL	UTILITY LIGHT	LED STRIP LIGHT FOR UTILITY SPACES				
\bigoplus_{P2}	FOYER LIGHT	TYPICAL AT IN FOYERS				

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Design Team: BR, RO, CH

Progress Dates

Revisions

ROJECT:

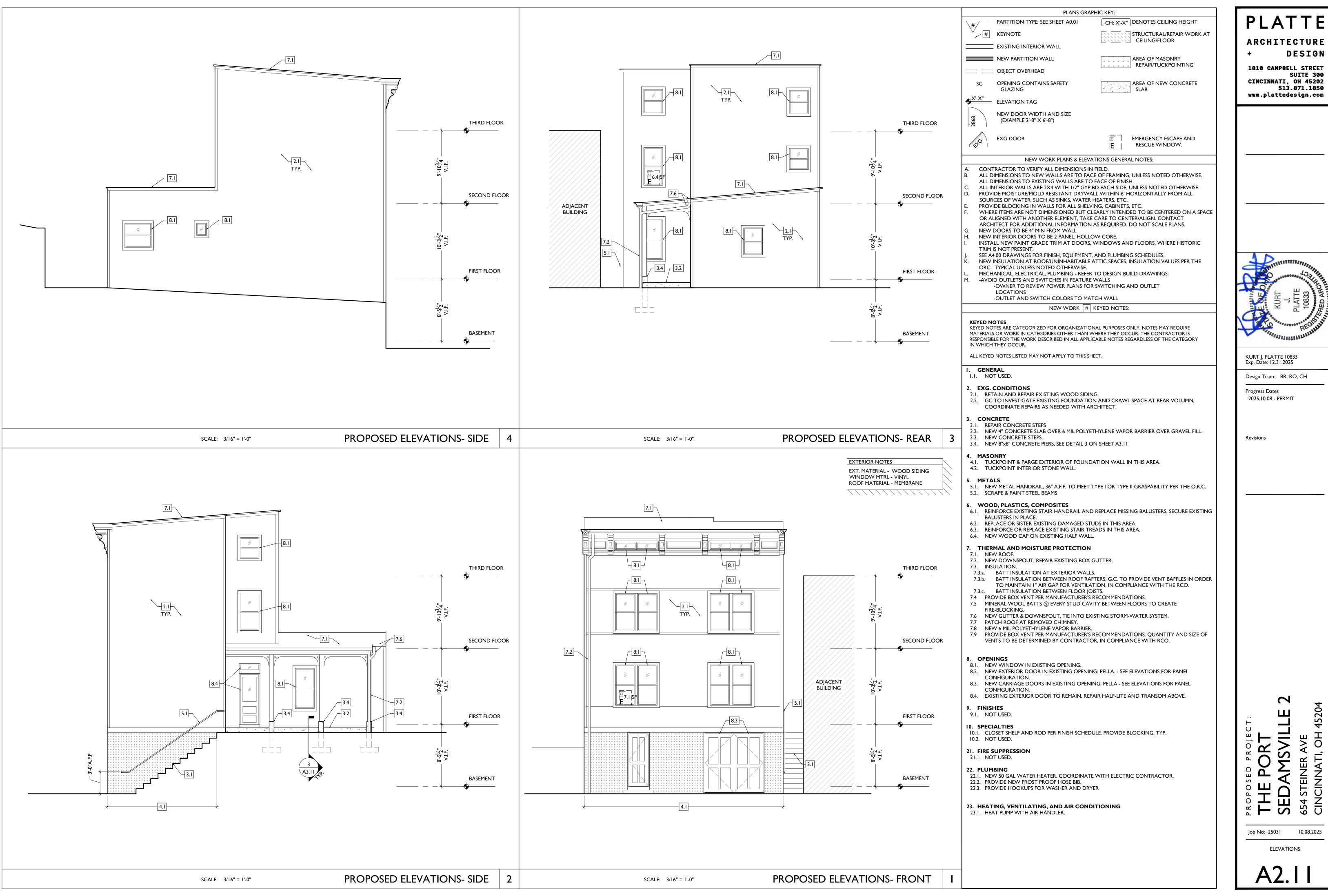
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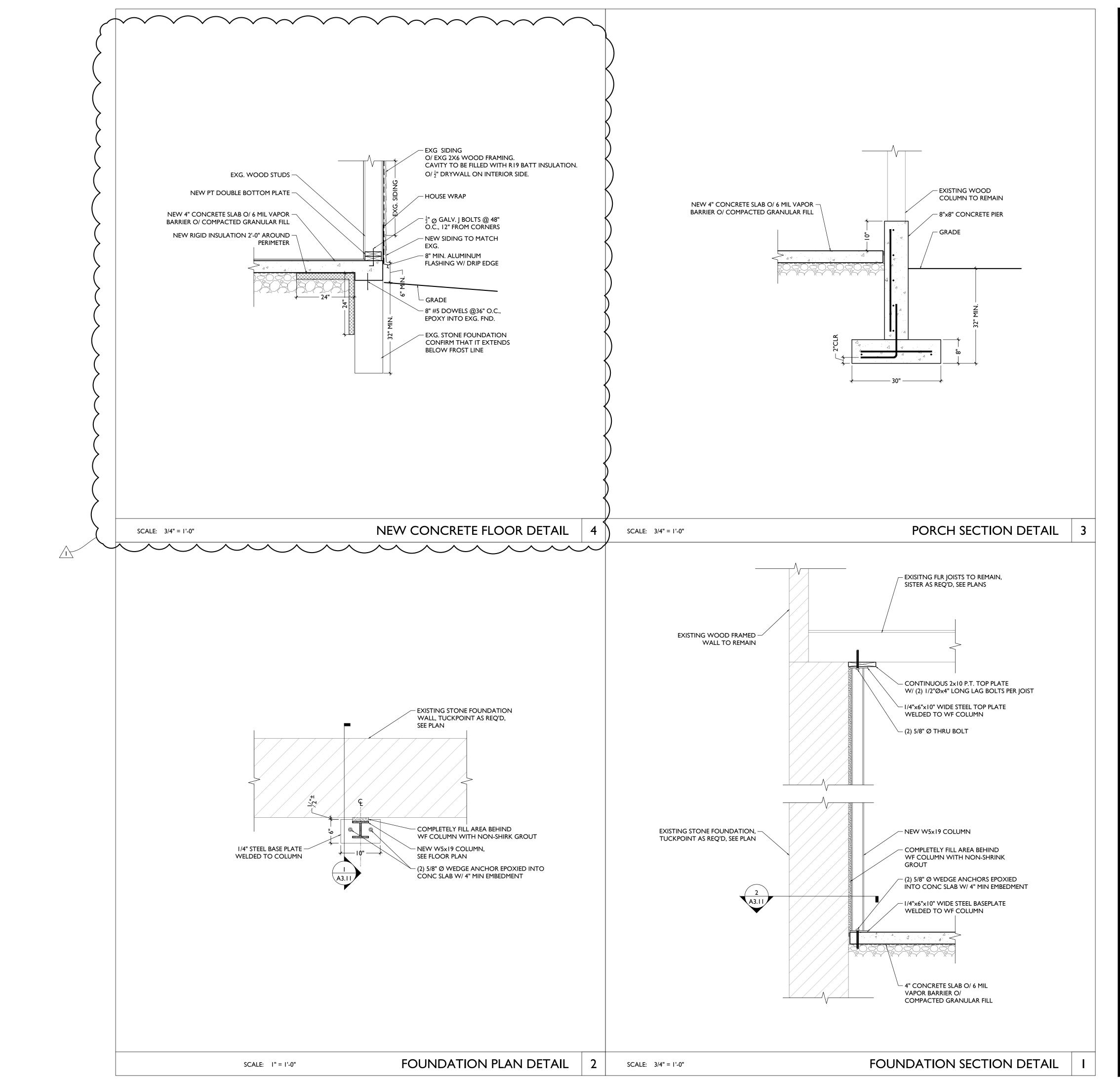
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SED PROJECT:
PORT
AMSVILLE 2
EINER AVE

THE PO

THE PO

SEDAMS

654 STEINER

CINCINNATI

Job No: 25031 11.06.2025

SECTIONS & DETAILS

A3.11

FINISH SCHEDULE							
CODE	TYPICAL LOCATION	FINISH TYPE	FINISH DESCRIPTION	NOTES	CONTACT		
FLOO	RING		•		'		
FL-I	THROUGHOUT	LVP	MANU: AQUALOK LINE: WOODLAND COLOR: FAWN SIZE: 7"				
FL-2	STAIRS, BEDROOMS, CLOSET	CARPET	MANU: DREAM WEAVER LINE: COSMOPOLITAN COLOR: WYNWOOD				
FL-3	SEE PLANS	REFINISHED HARDWOOD	STAIN: MINWAX WALNUT MX439				
WALL	<u>_S</u>						
PT-I	GENERAL INTERIOR	PAINT	MANU: SHERWIN WILLIAMS COLOR: 7566 WESTHIGHLAND WHITE FINISH: EGGSHELL				
PT-2	INTERIOR TRIM	PAINT	MANU: SHERWIN WILLIAMS COLOR: 7566 WESTHIGHLAND WHITE FINISH: SEMI-GLOSS				
SOLID	SURFACE		•				
SS-I	KITCHENS, BATHS	COUNTERTOP	MANU: LX HAUSYS LINE: VIATERA COLOR: ANTIQUE TAUPE				
CASEG	OODS		1	1			
LAM-I	KITCHENS, BATHS	CABINETRY	MANU: KCD LINE: SHAKER COLOR: CLOVER	PLYWOOD BOX			

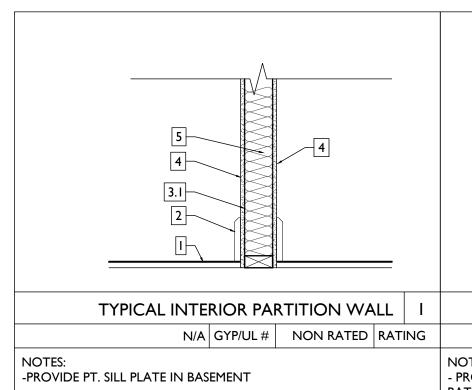
	APPLIANCE SCHEDULE							
ITEM	MANUFACTURER & PRODUCT #	MOUNTING HEIGHT	NOTES					
REFRIGERATOR	MANU: LG MODEL: LF21G6200S, 20.8 CU. FT. 3-DOOR FRENCH DOOR FINISH: STAINLESS							
OVER-THE-RANGE MICROWAVE	MANU: LG MODEL: LMV1764ST, 1.7 CU. FT. FINISH: STAINLESS	SEE INSTALLATION GUIDE						
OVEN RANGE	.25"MANU: LG MODEL: LREL6321S, 6.3 CU. FT. ELECTRIC RANGE FINISH: STAINLESS							
DISHWASHER	MANU: LG MODEL: LDFC2423, FRONT CONTROL DISHWASHER W/ SENSE CLEAN FINISH: STAINLESS							
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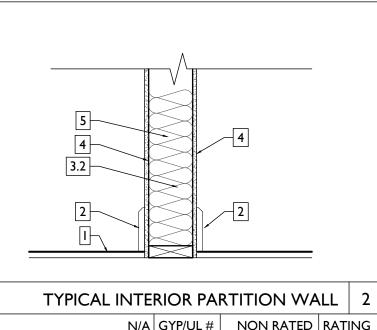
NOTES: I. T.B.D.

LOCATION	ITEM	MANUFACTURER & PRODUCT #	NOTES
FIXTURES			
HALF BATH	WALL MOUNTED SINK	MANU: DURAVIT MODEL: ME BY STARCK SIZE: 17-3/4" FINISH: WHITE	I FAUCET HOLE
ВАТН	VANITY SINK	MANU: AMERICAN STANDARD MODEL: STUDIO SIZE: 19" FINISH: WHITE	
ВАТН	FAUCET	MANU: MODEL: FINISH: BLACK	
KITCHEN	SINK	MANU: DAYTON MODEL: UNDERMOUNT DOUBLE BASIN SIZE: 33" FINISH: STAINLESS STEEL	
KITCHEN	FAUCET	MANU: MODEL: FINISH: BLACK	
ватн	TOILET	MANU: AMERICAN STANDARD MODEL: ELONGATED SEAT FINISH: WHITE	
ватн	TUB/SHOWER	MANU: AMERICAN STANDARD MODEL:	
ватн	SHOWER PAN	MANU: MODEL: SIZE:	

ITEM	MANUFACTURER & PRODUCT #	MOUNTING HEIGHT	NOTES
Address number	MANU: EVERBILT SIZE: 5 1/2" FINISH: BLACK PLASTIC		
MAILBOX	MANU: ARCHITECTURAL MAILBOXES FINISH: BLACK, WITH LOCK		
HALF BATH ACCESSORIES	MANU: MOEN MODEL: BANBURY 3-PIECE SET W/ 24" TOWEL BAR, TOILET PAPER HOLDER, TOWEL RING FINISH: MATTE BLACK		
FULL BATH ACCESSORIES	MANU: ATKING MODEL: 5-PIECE SET W/ TOWEL BAR, TOILET PAPER HOLDER, TOWEL HOOK FINISH: MATTE BLACK		
HALF BATH VANITY MIRROR	MANU: KOONMI SIZE: 20 X 30 FINISH: BLACK		
FULL BATH VANITY MIRROR	MANU: KOONMI SIZE: 26 X 38 FINISH: BLACK		

INSULATION SCHEDULE						
LOCATION	ТҮРЕ	R-VALUE	NOTES			
TYPICAL WALLS	SOUND ATTENUATION BATT	-	FILL STUD CAVITY			
BATHROOM WALLS	SOUND ATTENUATION BATT	-	FILL STUD CAVITY			
PLUMBING CHASE	FIBERGLASS BATTS STAPLED TO STUDS	R-13 MIN.	CONTINUOUS PIPE INSULATION AT ALL PLUMBING LINES			





TYPICAL INTERIOR PARTITION WALL 2

N/A GYP/UL # NON RATED RATING

NOTES:
- PROVIDE MOISTURE RESISTANT DRYWALL ON
BATHROOM/KITCHEN SIDE.
-PROVIDE PT. SILL PLATE IN BASEMENT

FINISHED FLOOR -SEE FINISH SCHEDULE
 WALL BASE
 WOOD WALL FRAMING
 1. 2x4 WALL FRAMING @ 16" O.C.
 2x6 WALL FRAMING @ 16" O.C.
 1/2" GYPSUM BOARD
 INSULATION PER SCHEDULE

WALL ASSEMBLIES/

PARTITION TYPES

KEYED NOTES:

SCHEDULES

PLATTE
ARCHITECTURE
+ DESIGN

1810 CAMPBELL STREET SUITE 300 CINCINNATI, OH 45202 513.871.1850 www.plattedesign.com

KURT J. PLATTE 10833 CO. PLATTE TO STATE TO STAT

KURT J. PLATTE 10833 Exp. Date: 12.31.2025

Design Team: BR, RO, CH

Progress Dates
2025.10.08 - PERMIT

Revisions

PROPOSED PROJECT:

THE PORT

SEDAMSVILLE 2
654 STEINER AVE

Job No: 25031 10.08.2025

FINISH SCHEDULES

A4.00

SCALE: 3/16" = 1'-0"

ELEVATIONS- FRONT

EXTERIOR PAINT

EXT-I GENERAL PAINT MANU: SHERWIN WILLIAMS COLOR: 0076 APPLEBLOSSOM FINISH: SEMI-GLOSS

EXT-2 ACCENT PAINT COLOR: 6592 GRENADINE FINISH: SEMI-GLOSS

EXT-3 ACCENT PAINT MANU: SHERWIN WILLIAMS COLOR: 0005 DEEPEST MAUVE FINISH: SEMI-GLOSS

PLATTE

ARCHITECTURE + DESIGN

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Revisions

SVILLE 2

PROPOSED PROJECT:

THE PORT

SEDAMSVILLE 7

654 STEINER AVE

CINCINNATI, OH 45204

Job No: 25031 10.08.2025

RENDER ELEVATIONS

A5.01