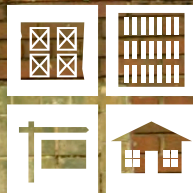


HAMILTON COUNTY LAND REUTILIZATION CORPORATION

HISTORIC STRUCTURE STABILIZATION PROGRAM



BAYMILLER ROW HOUSES | WEST END



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HISTORIC STRUCTURE STABILIZATION PROGRAM

Preserving important, vacant historic structures for re-use and redevelopment.

FUNDING TO DATE

CITY OF CINCINNATI

\$887,132

\$2.3M

HAMILTON COUNTY
LANDBANK

\$1,424,642

THE NEED IN HAMILTON COUNTY

Hamilton County is home to hundreds of historic, vacant structures that are not being properly maintained and are in serious disrepair. These buildings are an important part of the region's unique character. They contribute economic value and a sense of place to neighborhoods, but often are in danger of demolition through neglect.

The cost to stabilize a blighted, historic property varies depending on the extent of work needed, but on average, stabilization costs

\$21.20 / SF

\$1,500,000

is the approximate amount, based on historical costs, needed to stabilize the six endangered, historic properties highlighted on page 11.

FREQUENTLY ASKED QUESTIONS

What is the Historic Structure Stabilization Program?

The Landbank leverages internal and external funds to stabilize blighted and vacant historic structures.

How do you decide which properties to stabilize?

We are alerted to properties to consider for stabilization through recommendations from the program's Advisory Board, Landbank staff, the public, and local jurisdictions.

From that pool of historically significant structures, the Advisory Board - made up of local preservationists and real estate professionals - and Landbank staff prioritize candidates based on:

- Marketability
- Potential end use
- Location / targeted neighborhood
- Opportunity for matching funds
- Historic significance

Where do funds come from for the Program?

The Landbank allocates funds every year toward the program out of its DTAC funds, which come from a percentage of delinquent property tax collections. Additional funding has been provided by the City of Cincinnati. In 2018, the Landbank is committed to raising philanthropic and grant funds to grow the available pool of resources.

Why is the Landbank engaged in this work?

As a mission-based organization committed to neighborhood revitalization and redevelopment, the Landbank is uniquely qualified to take on stabilizations. For some properties, stabilization is the first step toward bringing it back to productive use. Additionally, Ohio law provides Landbanks unique tools and powers which are essential in this process.

Why save these structures without an end user?

The existing building stock in our region is an asset to be preserved. Historic structures give our neighborhoods character and draw residents, companies, and film crews to our region. Demolishing significant structures because of a lack of current end user is a permanent and irreversible solution to a temporary problem. Basic stabilization and control over blighted, vacant, and abandoned structures is the crucial starting point to getting a property back into productive use. Without this work to historic properties, they will continue to deteriorate and remain tax delinquent.

Does a property have to be on the National Register of Historic Places?

No, properties do not have to have formal historic designation to be considered for Landbank stabilization

What work is done to a building to stabilize it?

After a property are selected, it is cleaned out, undergoes roof and wall repair, and is brought into full compliance with Cincinnati's vacant building maintenance license (VBML) standard. Properties are secure and weathertight, but will still require significant additional renovation for an end user. This process essentially "mothballs" the building, preventing further decay until an end use is found.

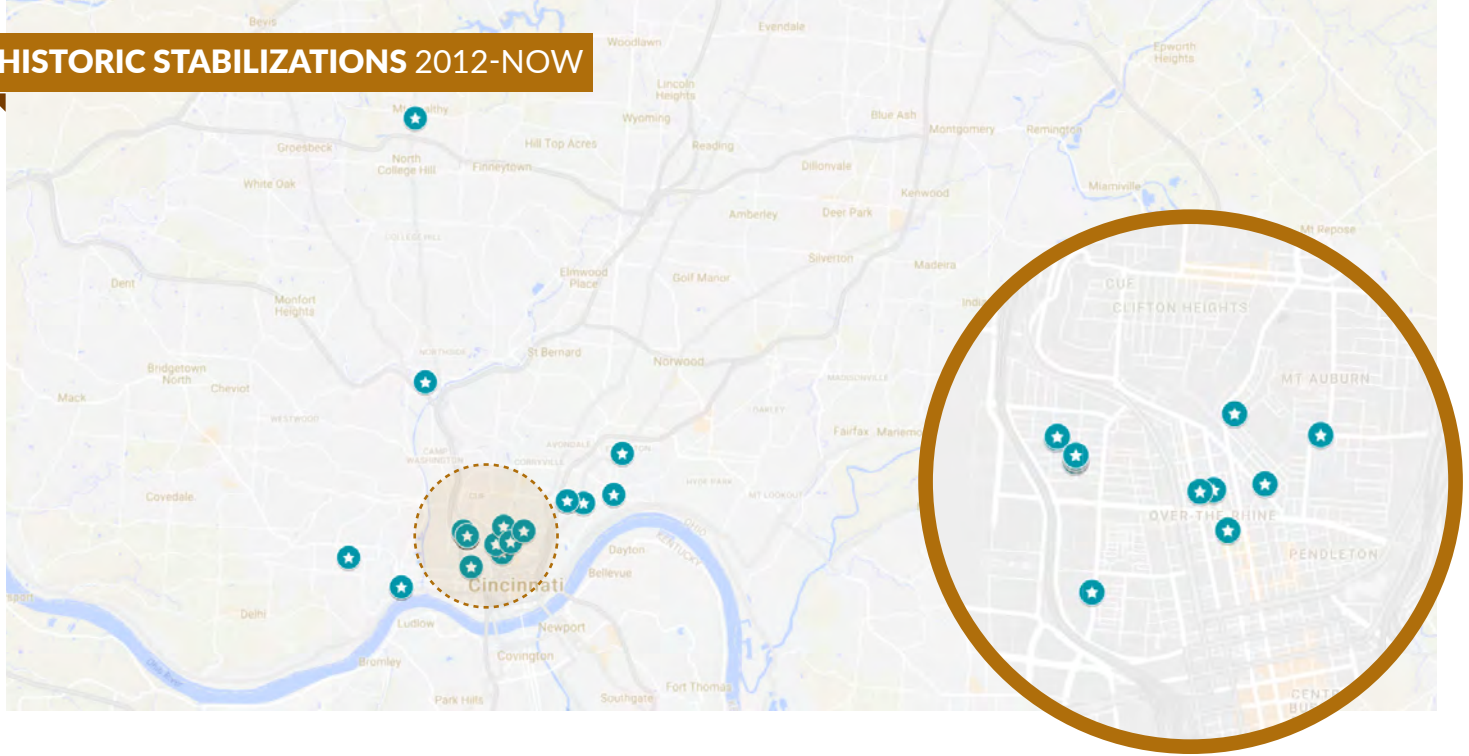
What happens to the structures after they are stabilized?

Once a historic property is stabilized and acquired, the Landbank works with neighborhood partners, the Cincinnati Preservation Association, and other stakeholders to market it to potential end users for redevelopment.

STABILIZED STRUCTURES

Since 2012, the Landbank has stabilized 15 historic structures throughout Hamilton County. It is currently working on its largest stabilization to date in the West End.

HISTORIC STABILIZATIONS 2012-NOW



1201 LINN STREET

2013 | WEST END | STABILIZATION COST \$151,196

The building at 1201 Linn Street opened as the Casino Theater in 1914, and was renamed the Regal in 1941. Featuring 1,500 seats, the theater opened with a stage for vaudeville and other live acts before switching over to films. Vacant since the 90s, the Hamilton County Landbank acquired the property and performed work to stabilize the structure in 2013.



1910 FREEMAN AVENUE

2013 | WEST END | STABILIZATION COST \$100,078

The Freeman Avenue property was built in 1879 and featured in a September 2012 Cincinnati Enquirer story about significant local homes at risk for demolition. Declared a public nuisance, it was once the home of David Hummel, founder of the David Hummel Building Co. Stabilization was completed in 2013.



1912 FREEMAN AVENUE

2014 | WEST END | STABILIZATION COST \$39,477

The Freeman Avenue property was built in 1880 and is located in the Dayton Street Local Historic District. Stabilization was completed in 2014.



2710 WOODBURN

2014 | EAST WALNUT HILLS | STABILIZATION COST \$63,256

This brick Victorian residence in East Walnut Hills was stabilized by the Hamilton County Landbank in 2014. The Landbank is currently working to acquire the property. Located in the Madison and Woodburn Historic District, included in the National Register of Historic Places in 1983, the single-family home is in a prime location in a neighborhood that is experiencing significant investment.



18 MULBERRY STREET

2014 | MOUNT AUBURN | STABILIZATION COST \$183,309

From 1870 to 1882, beer baron Christian Moerlein called this Mount Auburn structure home. Following years of neglect and vacancy, the structure faced demolition in 2012. The Landbank stepped in and utilized its historic stabilization funds to secure and stabilize the structure.



4000 COLERAIN AVENUE

2014 | NORTHSIDE | STABILIZATION COST \$73,786

The former Farmer's Hotel is Northside's oldest commercial building, and the only remaining former hotel along Colerain that once catered to farmers as they drove livestock into the City during the Porkopolis days. Following its City Historic Landmark designation, and in a close collaboration with NEST, this structure was saved from demolition and stabilized for future redevelopment in 2014.



7428 HAMILTON AVENUE

2016 | MOUNT HEALTHY | STABILIZATION COST \$40,748

After closing as a theater in 1971, this Mount Healthy landmark sat mostly vacant apart from a brief stint as a silent auction house. In 2016, the Hamilton County Landbank acquired the property and stabilized the structure before transferring ownership to the City of Mount Healthy. Mount Healthy is currently exploring options to redevelop this centerpiece of the business district.



1710 ELM STREET

2015 | OVER-THE-RHINE | STABILIZATION COST \$100,000+

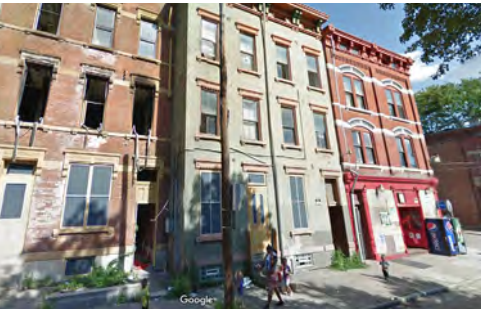
The stabilization of 1710 Elm saved this historic structure near Findlay Market. It has since been redeveloped into ground-level retail and residential units. Stabilization was done in partnership with the City of Cincinnati.



1706 LANG STREET

2015 | OVER-THE-RHINE | STABILIZATION COST \$134,600

The stabilization of 1706 Lang saved this historic Over-the-Rhine structure from the wrecking ball, preserving it for future redevelopment. Following years of attempts to contact the absentee owner, during a cold snap, large portions of the facade crumbled onto the street. Through a joint effort amongst the Landbank, City of Cincinnati, and community, this property is in the process of being redeveloped.



644 AND 646 NEAVE

2015 | LOWER PRICE HILL | STABILIZATION COST \$133,011

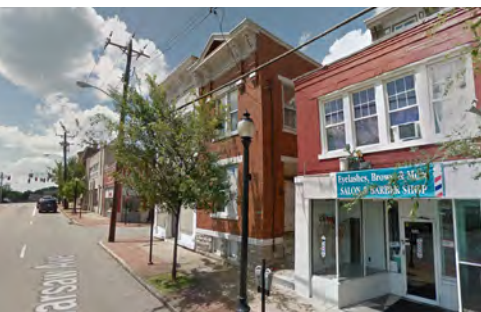
These two mixed-use, multi-family structures are an important part of the urban fabric in Lower Price Hill, contributing to the neighborhood's impressively intact Italianate architecture stock. Both are located in the Lower Price Hill Historic District. SSRG performed the stabilization and became involved early on in the process to stabilize a collapsed exterior wall. The Community Learning Center Institute is helping find the right end user in accordance with the community plan.



3341 MONTGOMERY ROAD

2015 | EVANSTON | STABILIZATION COST \$93,880

3341 Montgomery is a 6,000 square foot mixed-use building stabilized and acquired by the Hamilton County Landbank for redevelopment. The property is located just north of Evanston's southern business district. Redevelopment plans could include local neighborhood-serving businesses renting the 2,000 square feet of first-floor retail, while a commercial user occupies the floors above.



3628 WARSAW AVENUE

2016 | EAST PRICE HILL | STABILIZATION COST \$32,520

3628 Warsaw was stabilized under the Historic Structure Stabilization Program in 2014. This three-family structure is located in the Warsaw Avenue commercial corridor.



1510 RACE STREET

2016 | OVER-THE-RHINE | STABILIZATION COST \$126,388

The Landbank partnered with Cincinnati City Center Development Corporation (3CDC) to stabilize and save this Italianate, multi-family structure in the heart of the Over-the-Rhine Historic District.



1707 RACE STREET

2016 | OVER-THE-RHINE | STABILIZATION COST \$87,922

The Landbank partnered with Cincinnati City Center Development Corporation (3CDC) to stabilize and save this Italianate, multi-family structure in the heart of the Over-the-Rhine Historic District.



722 & 724 EAST MCMILLAN STREET

2017 | WALNUT HILLS | STABILIZATION COST \$300,000

Stabilization of these two business district structures in Walnut Hills is complete. These properties were stabilized in partnership with the City of Cincinnati.



1833 SYCAMORE STREET

2018 | OVER-THE-RHINE | STABILIZATION COST \$254,512

Dubbed the “Flatiron Building,” this circa-1875 apartment building was listed by the Cincinnati Preservation Collective as an Impact Building in the region - a marquee or historically significant structure in need of attention. Stabilization is currently underway in partnership with the City of Cincinnati.



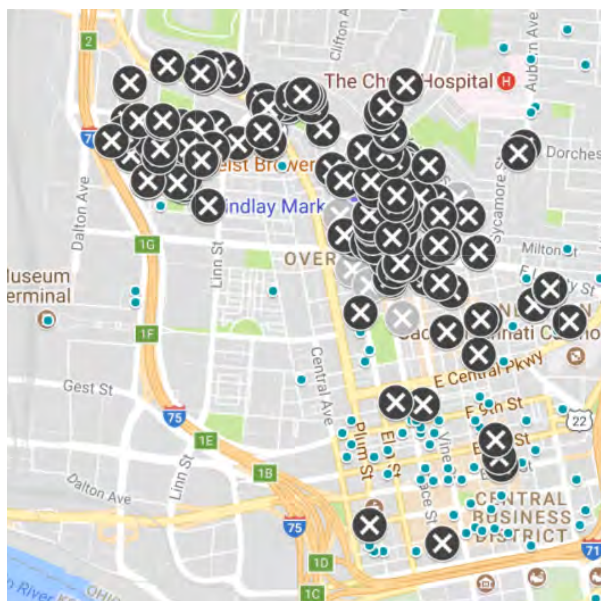
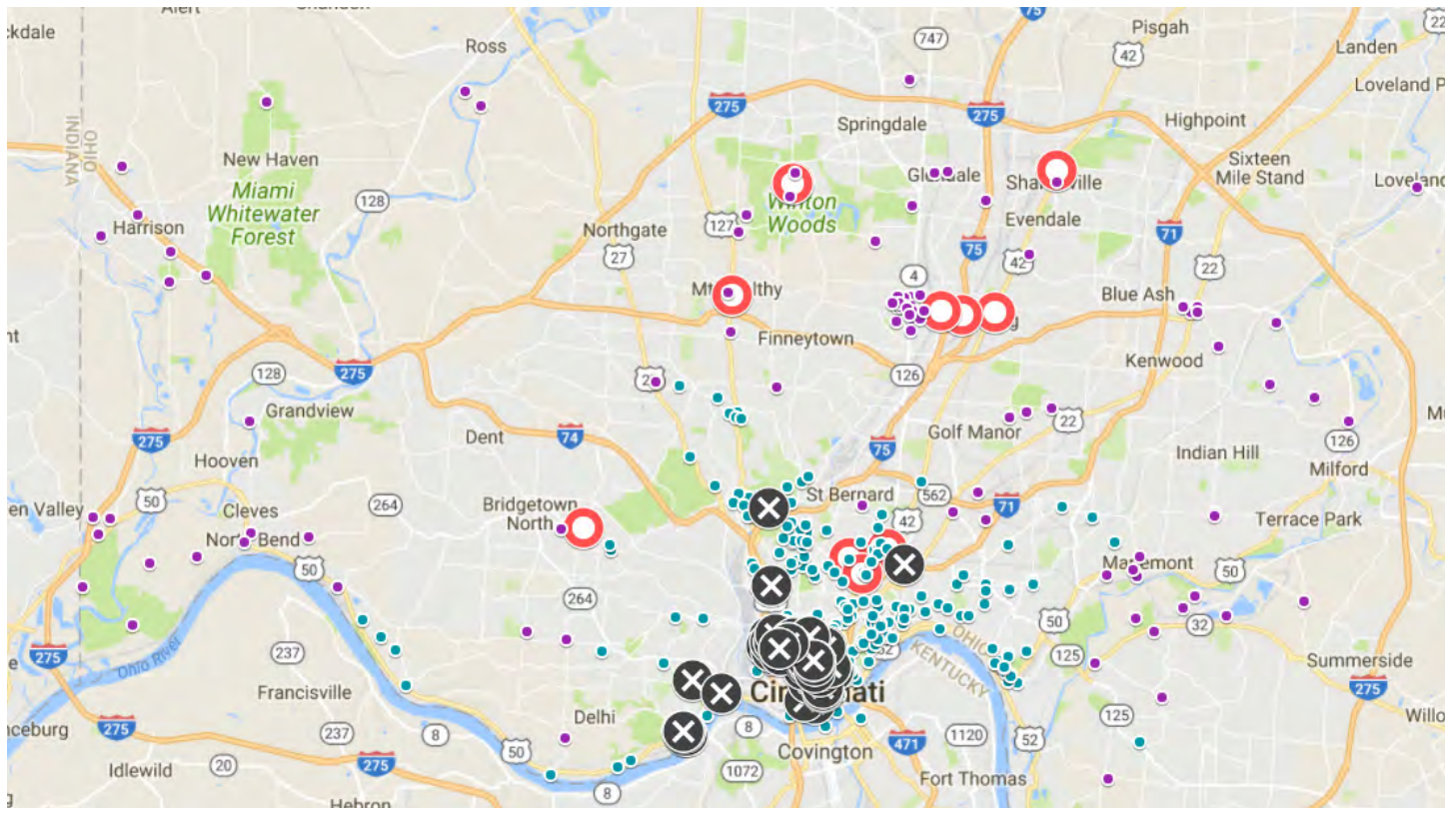
BAYMILLER ROW HOUSES

2018 | WEST END | STABILIZATION COST \$522,132

Stabilization of these six row houses in the West End is currently underway. Located in the Dayton Street Local Historic District, these properties are being stabilized in partnership with the City of Cincinnati. The Landbank is working with the City of Cincinnati, Seven Hills Neighborhood Houses, and the West End neighborhood to determine the best end use for these row houses.

THE NEED IN HAMILTON COUNTY

Hamilton County has no shortage of vacant, decaying historic structures whose loss would negatively impact the urban fabric of our region.



NATIONAL REGISTER HAMILTON COUNTY	NATIONAL REGISTER CITY OF CINCINNATI	HISTORIC VACANT CITY OF CINCINNATI	AT-RISK HISTORIC CITY OF CINCINNATI	AT-RISK HISTORIC HAMILTON COUNTY

Above: The map shows at-risk historic structures throughout Hamilton County as well as National Register sites. **Left:** A close-up view of the Central Business District and Over-the-Rhine.

THE NEED IN OUR REGION

Above is a look at the structures in Hamilton County currently listed as vacant, condemned, and/or at-risk. Many times, owners of these structures are either absent or deceased, and the buildings are in danger of demolition by neglect. Stabilization repairs these structures to prevent emergency demolition or demolition by neglect. The following page identifies six potential structures for the Landbank's Historic Structure Stabilization Program.



MARY A. WOLFE HOUSE
1895 | 965 BURTON | NORTH AVONDALE

National Register of Historic Places
Designed by Samuel Hannaford



COMMERCIAL BUILDING
1887 | 2024 MOHAWK | WEST END

Historic commercial structure located in the Mohawk Place Historic District



FORMER HARRISON SCHOOL
1900 | 675 STEINER AVENUE | SEDAMSVILLE

Historic school structure in Sedamsville located in the Sedamsville River Road Historic District



FORMER OASIS FLORIST
1963 | 9188 READING ROAD | READING

Mid-century retail structure



FORMER PROVIDENT BANK
1954 | 11173 READING ROAD | SHARONVILLE

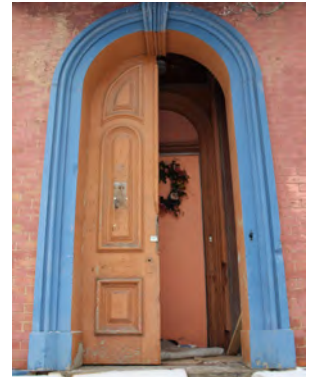
National Register eligible, mid-century former bank



STEARNS & FOSTER OFFICES
200 E. WYOMING AVENUE | LOCKLAND

Former Stearns and Foster offices - remaining structure of former 15-acre manufacturing site

STABILIZATION PROGRAM NEEDS AND NEXT STEPS



NEED #1:

SECURE ADDITIONAL FUNDING SOURCES

The Landbank currently sets aside a small but impactful amount of its budget toward the Historic Structure Stabilization Program. It also regularly partners with the City of Cincinnati to jointly fund key stabilization projects within the City. However, as shown in the previous section, these funds are insufficient in terms of the need in Hamilton County. In collaboration with the Cincinnati Preservation Association and other stakeholders, we are committed to a philanthropic grant campaign to increase our resources to do this important work.

NEED #2:

MARKET TO END USERS

Once a historic structure is stabilized, the focus shifts to finding a good end user for the property. The Landbank seeks to expand and strengthen its network of neighborhood partners and preservation advocates in order to amplify the opportunities for full redevelopment of its historic properties.

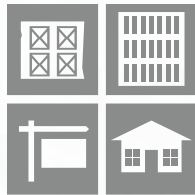
NEED #3:

BRIDGE THE GAP FOR END USERS

The Landbank's stabilization and control of historic structures is a crucial first step to getting these properties back into productive use. In addition to marketing, a robust array of options including gap funding, grants, and other tools for end users will be necessary to put properties back into productive use.

1706 LANG BEFORE AND DURING OTR





Hamilton County **Land Reutilization Corporation**

3 EAST FOURTH STREET // CINCINNATI, OHIO 45202 // 513.621.3000